

Perfection Inspection, Inc

**Francine Uyetake
Alan Thompson**

**Property Address:
4504 Century Dr S
Salem OR 97302**



1/28/2026

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

**1160 31st CT
Salem, OR 97304
503.508.4321 jallhiser@PerfectionInspectionInc.com**

J.C. President



Table of Contents

Cover Page.....

1

Table of Contents

2

Intro Page.....

3

Repair Summary

5

Safety Issues.....

10

Monitor.....

12

Normal Routine Maintenace.....

14

1 Roofing.....

16

2 Exterior.....

23

3 Garage.....

32

4 Interiors.....

38

5 Structural Components

41

6 Plumbing System

43

7 Electrical System

49

8 Heating / Central Air Conditioning.....

54

9 Insulation and Ventilation.....

57

10 Built-In Kitchen Appliances

61

Attachments.....

63

Date: 1/28/2026	Time: 01:00 PM	Report ID: 20260128-4504-Century-Dr-S
Property: 4504 Century Dr S Salem OR 97302	Customer: Francine Uyetake Alan Thompson	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

Buildings more than 25 years old may have areas that are not current in code requirements. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult during a one time inspection and in an occupied building. Sometimes buildings have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Sellers and listing broker	Type of building: Single Family Tri Level
Approximate Year Built: 1980	Temperature: Below 60	Weather: Cloudy, Light Rain
Ground/Soil surface condition: Wet	Rain in last 3 days: Yes	Radon Test: No

Repair Summary

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer

Francine Uyetake
Alan Thompson

Address

4504 Century Dr S
Salem OR 97302

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

-  (1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

-  (2) The debris that was on the roof should be removed. The debris can cause damage if left in place and shorten the roof's life. No comment can be offered on the condition of the roofing under the debris. A qualified, person should carefully remove debris as necessary.

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (1) The gutters were loose at the front right corners (facing forward from the inside) of the building and garage. Loose or leaking gutters can cause deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.
-  (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.
-  (3) The gutters appear to leak at the seams on the front of the building. I recommend cleaning and apply gutter sealant or epoxy.
-  (4) The gutter appeared to overflow at the front right corner (facing forward from the inside) of the

building. Gutters that dump storm water near the foundation can cause moisture issues around the building and can lead to foundation issues. A qualified contractor should inspect and repair as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected

-  (1) The siding at the front of the building has been covered and is in contact with the concrete steps. Ground clearances are recommended to prevent deterioration and for a pest control company to monitor for wood eating insects. I recommend monitoring this issue to determine if repairs are necessary.
-  (2) Stains could be observed on the south wall of the building. These stains may be related to a previous issue as current leakage could not be observed. This area should be further investigated or at least closely monitored and repaired if continued leakage can be observed.

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

-   (1) Large trees were close to the building. Most home owners insurance companies expect you to employ a licensed tree service at least every three years. You should strongly consider routine trimming/removal by a licensed professional arborist.
-  (3) The concrete drive at the front of the building was uneven, and could be a tripping hazard. A fall or injury can occur if not corrected. A qualified contractor should inspect and repair as needed.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

-  (1) A gap between the fascia and roof sheathing exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.
-  (2) The fascia (behind gutter) at eave on the front and rear shows moisture leakage. This indicates storm water is getting behind the gutter and should be repaired as necessary. A qualified contractor should inspect and repair as needed.

2.6 OTHER

Inspected, Repair or Replace

-  (1) Odiferous house ants noted in various areas. These ants are common household pests and are not structurally significant. However they should be controlled. A licensed professional pest control operator should treat the building as necessary.
-  (2) The wood ties at the front of the building may provide a conducive environment for wood destroying organisms as the treatment leaches in to the soil. You should consider removing the ties.

3. Garage

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Inspected, Repair or Replace

-  (1) The door between the home and the garage should have new weather stripping installed.
-  (2) The door between the home and the garage should have an air tight threshold/door sweep installed.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace

-   (1) The automatic opener for the right garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.

-  (2) The garage door at the front of the building had the manual lock in place with the power opener. The lock can cause significant damage if it is engaged and the door opener is operated. A qualified person should remove or disable the manual lock.

4. Interiors

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected, Repair or Replace

-  The hand/guard rail for the upstairs had ends that did not properly terminate. Handrails should return to a wall, guard or the walking surface or shall be continuous to the handrail of an adjacent stair flight or ramp run. A repair or replacement is needed. A qualified contractor should repair or replace as needed.

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  The door did not have a door knob that locked at the hall bath. This is a privacy issue and is for your information. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected

-  The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-  (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
-  (2) The stop-valve does not work properly at the master bath sink (right sink). Repairs are needed. A qualified licensed plumber should repair or correct as needed.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) The outside water faucet threads were stripped at the front of the building. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.3 MAIN WATER SHUT-OFF DEVICE

Inspected, Repair or Replace

-  (1) The main shut off was located outside in the ground was buried. The dirt should be removed to provide proper access.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Repair or Replace

-  The gas line had a leak near the gas meter. This leakage should be repaired promptly by a licensed professional contractor.

7. Electrical System

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-  The light fixture did not work in the kitchen soffit. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

-  The addition of GFCI's to the building in the garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

7.7 SMOKE DETECTORS

Inspected, Repair or Replace

-  The battery operated smoke detectors are older than 10 years throughout the home. Smoke detectors that are 10 years or older should be replaced with modern units equipped with a hush feature and if they are an ionization type they need a 10 year ultralife battery. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Inspected, Repair or Replace

-  (1) Fiberglass (Batts) insulation is installed with "paper or kraft" face out. The paper side should always face the "conditioned space" or condensation could occur in attic. Condensation can cause mold or wood deterioration. A qualified contractor should inspect and repair as needed.
-  (2) Fiberglass (Batts) insulation was fallen in areas of the vault in attic. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

-  The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

10. Built-In Kitchen Appliances

10.2 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace

-  The left rear burner for range would not ignite properly. I recommend repair as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the

property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Safety Issues

Perfection Inspection, Inc.

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304

503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer

Francine Uyetake
Alan Thompson

Address

4504 Century Dr S
Salem OR 97302

The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

3. Garage

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace



(1) The automatic opener for the right garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information

should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Monitor

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer

Francine Uyetake
Alan Thompson

Address

4504 Century Dr S
Salem OR 97302

The following items or discoveries indicate that these systems or components that **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected

-  (1) The siding at the front of the building has been covered and is in contact with the concrete steps. Ground clearances are recommended to prevent deterioration and for a pest control company to monitor for wood eating insects. I recommend monitoring this issue to determine if repairs are necessary.
-  (2) Stains could be observed on the south wall of the building. These stains may be related to a previous issue as current leakage could not be observed. This area should be further investigated or at least closely monitored and repaired if continued leakage can be observed.

3. Garage

3.1 GARAGE WALLS

Inspected, Monitor

-  Minor evidence of moisture penetration on the north wall of the garage. This area should be monitored and repaired if continued moisture penetration is observed.

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

- 🔍 (2) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

8. Heating / Central Air Conditioning

8.8 COOLING AND AIR HANDLER EQUIPMENT

Not Inspected

- 🔍 The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation

9.5 RADON MITIGATION SYSTEM

Not Present, Monitor

- 🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Normal Routine Maintenance

Perfection Inspection, Inc.

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer

Francine Uyetake
Alan Thompson

Address

4504 Century Dr S
Salem OR 97302

The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

-  (1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://saletmoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

-  (2) The debris that was on the roof should be removed. The debris can cause damage if left in place and shorten the roof's life. No comment can be offered on the condition of the roofing under the debris. A qualified, person should carefully remove debris as necessary.

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.

2. Exterior

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

-  (1) Large trees were close to the building. Most home owners insurance companies expect you to

employ a licensed tree service at least every three years. You should strongly consider routine trimming/removal by a licensed professional arborist.



(2) The plants should be trimmed or removed from contact with the building. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Masonry		

Inspection Items

1.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace

 (1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.


Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>



1.0 Item 1(Picture)



1.0 Item 2(Picture)



(2) The debris that was on the roof should be removed. The debris can cause damage if left in place and shorten the roof's life. No comment can be offered on the condition of the roofing under the debris. A qualified, person should carefully remove debris as necessary.



1.0 Item 3(Picture)



1.0 Item 4(Picture)

1.1 FLASHINGS

Comments: Inspected

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected, Repair or Replace

- 🔧 (1) The gutters were loose at the front right corners (facing forward from the inside) of the building and garage. Loose or leaking gutters can cause deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)

-  (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.



1.3 Item 4(Picture)

- (3) The gutters appear to leak at the seams on the front of the building. I recommend cleaning and apply gutter sealant or epoxy.



1.3 Item 5(Picture)

- (4) The gutter appeared to overflow at the front right corner (facing forward from the inside) of the building. Gutters that dump storm water near the foundation can cause moisture issues around the building and can lead to foundation issues. A qualified contractor should inspect and repair as needed.



1.3 Item 6(Picture)



1.3 Item 7(Picture)

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to not be leaking during the inspection and weather conditions. Our inspection makes an attempt to find leaks but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

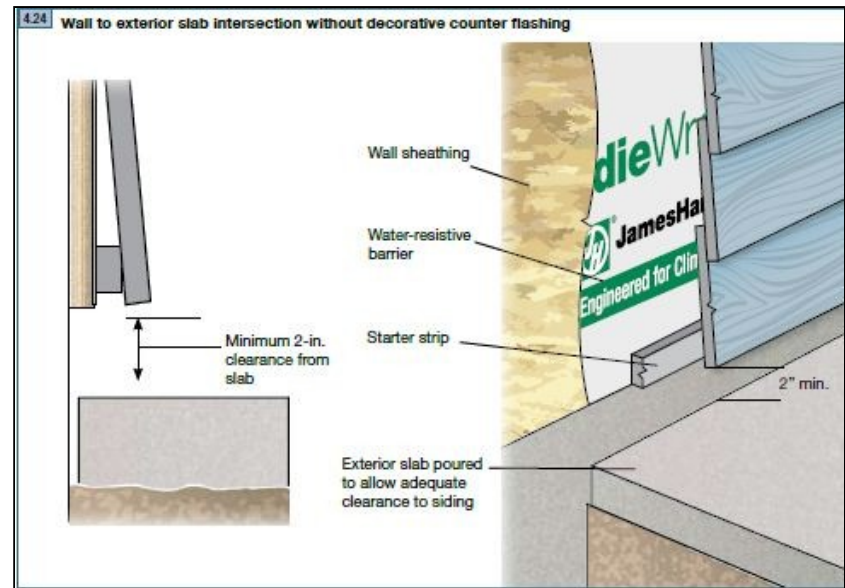
Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Wood	Composite
Driveway/Parking Area:	Retaining wall that Affects the Building:	
Concrete	None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected

(1) The siding at the front of the building has been covered and is in contact with the concrete steps. Ground clearances are recommended to prevent deterioration and for a pest control company to monitor for wood eating insects. I recommend monitoring this issue to determine if repairs are necessary.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

 (2) Stains could be observed on the south wall of the building. These stains may be related to a previous issue as current leakage could not be observed. This area should be further investigated or at least closely monitored and repaired if continued leakage can be observed.



2.0 Item 3(Picture)



2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)



2.0 Item 7(Picture)

2.1 DOORS (Exterior)

Comments: Inspected

2.2 WINDOWS

Comments: Inspected

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

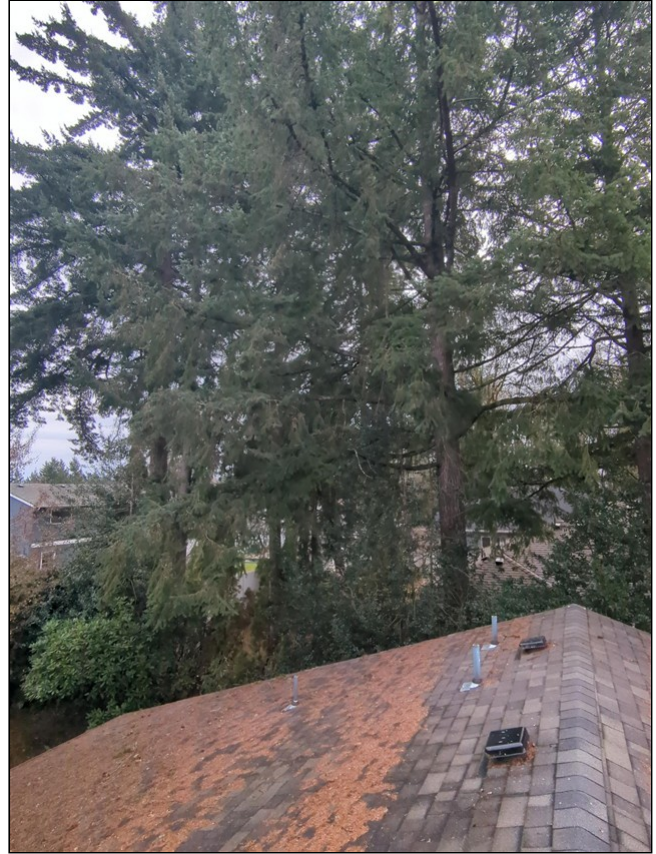
Comments: Inspected, Repair or Replace



(1) Large trees were close to the building. Most home owners insurance companies expect you to employ a licensed tree service at least every three years. You should strongly consider routine trimming/removal by a licensed professional arborist.



2.4 Item 1(Picture)



2.4 Item 2(Picture)

 (2) The plants should be trimmed or removed from contact with the building. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.



2.4 Item 3(Picture)



2.4 Item 4(Picture)

 (3) The concrete drive at the front of the building was uneven, and could be a tripping hazard. A fall or injury can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.4 Item 5(Picture)

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

(1) A gap between the fascia and roof sheathing exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

(2) The fascia (behind gutter) at eave on the front and rear shows moisture leakage. This indicates storm water is getting behind the gutter and should be repaired as necessary. A qualified contractor should inspect and repair as needed.



2.5 Item 3(Picture)



2.5 Item 4(Picture)



2.5 Item 5(Picture)



2.5 Item 6(Picture)



2.5 Item 7(Picture)



2.5 Item 8(Picture)



2.5 Item 9(Picture)

2.6 OTHER

Comments: Inspected, Repair or Replace

- (1) Odiferous house ants noted in various areas. These ants are common household pests and are not structurally significant. However they should be controlled. A licensed professional pest control operator should treat the building as necessary.



2.6 Item 1(Picture)

- (2) The wood ties at the front of the building may provide a conducive environment for wood destroying organisms as the treatment leaches in to the soil. You should consider removing the ties.



2.6 Item 2(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



Styles & Materials

Garage Door Type:
Two automatic

Garage Door
Material:
Metal
Insulated

Auto-opener
Manufacturer:
GENIE

Did the Garage Door Opener Reverse when met with
Resistance?:
No

Inspection Items

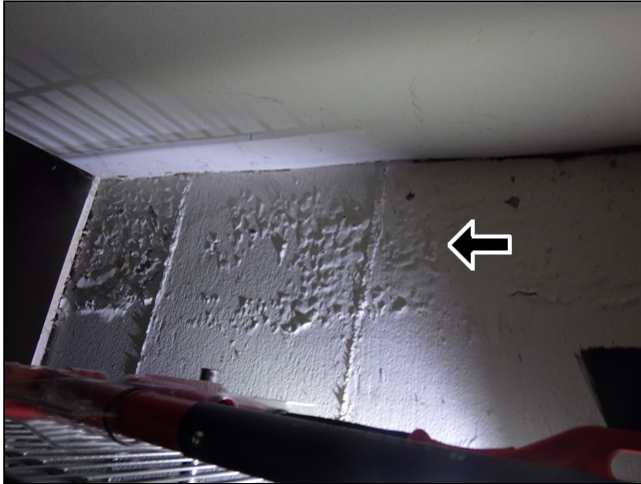
3.0 GARAGE CEILINGS

Comments: Inspected

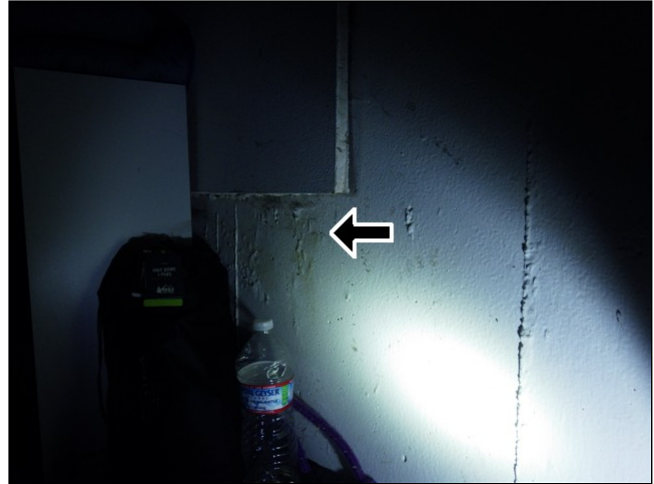
3.1 GARAGE WALLS

Comments: Inspected, Monitor

- 🔍 Minor evidence of moisture penetration on the north wall of the garage. This area should be monitored and repaired if continued moisture penetration is observed.



3.1 Item 1(Picture)



3.1 Item 2(Picture)

3.2 GARAGE FLOOR

Comments: Inspected

3.3 GARAGE DOOR (S)

Comments: Inspected

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Comments: Inspected, Repair or Replace

- 🔧 (1) The door between the home and the garage should have new weather stripping installed.



3.4 Item 1(Picture)

- 🔧 (2) The door between the home and the garage should have an air tight threshold/door sweep installed.



3.4 Item 2(Picture)

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

- 🔧 (1) The automatic opener for the right garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.





WARNING



Child can be pinned under automatic garage door. ***Death or serious injury can result.***

- Never let child walk or run under moving door.
- Never let child use door opener controls.
- Always keep moving door in sight.
- If person is pinned, push control button or use emergency release.

- Test door opener monthly:
 - Refer to your owner's manual.
 - Place one-inch object (or 2x4 laid flat) on floor. 
 - If door fails to reverse on contact, adjust opener.
 - If opener still fails to reverse door, repair or replace opener.

Do not remove or paint over this label.
Mount wall control out of child's reach
(at least 5 feet above floor).
Place next to wall control.

114A1529 Copyright 1992

3.5 Item 1(Picture) Garage door test



3.5 Item 2(Picture)

- 🔧 (2) The garage door at the front of the building had the manual lock in place with the power opener. The lock can cause significant damage if it is engaged and the door opener is operated. A qualified person should remove or disable the manual lock.



3.5 Item 3(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

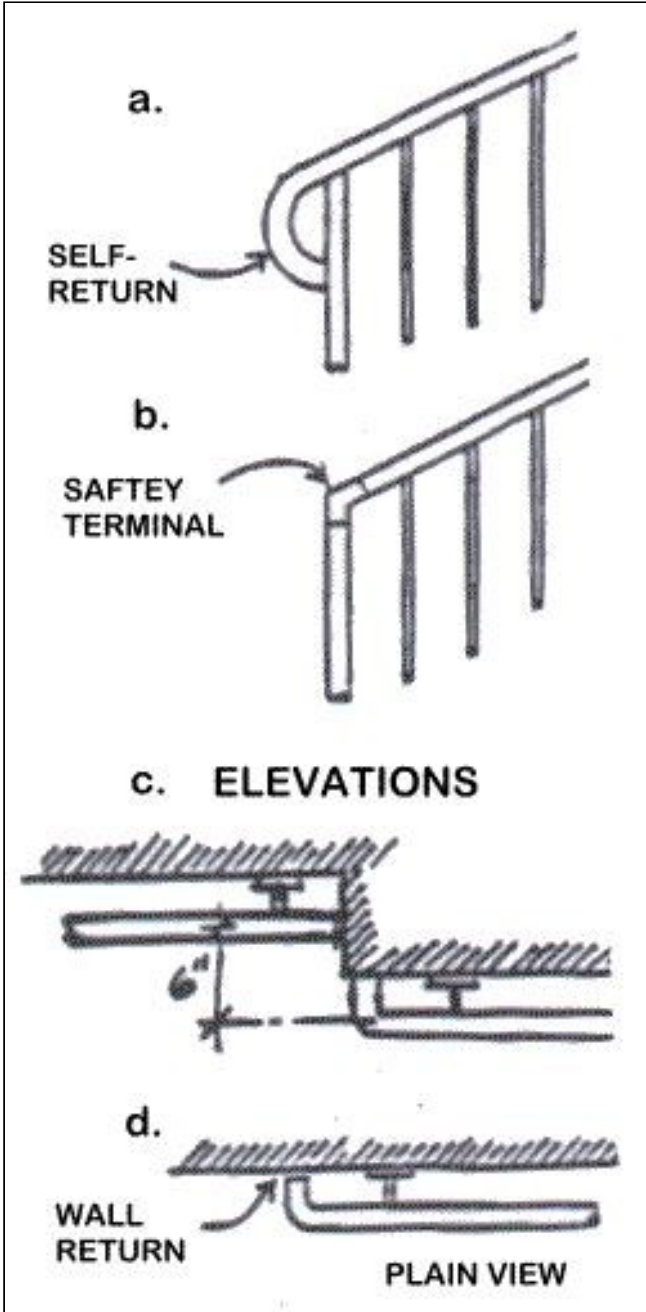
Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Carpet Hardwood Laminate Ceramic Tile
Interior Doors: Hollow core	Window Types: Thermal/Insulated Sliders Aluminum Frame	Cabinetry: Wood
Countertop: Ceramic Tile		

Inspection Items

- 4.0 CEILINGS
Comments: Inspected
- 4.1 WALLS
Comments: Inspected
- 4.2 FLOORS
Comments: Inspected
- 4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS
Comments: Inspected, Repair or Replace

🔧 The hand/guard rail for the upstairs had ends that did not properly terminate. Handrails should return to a wall, guard or the walking surface or shall be continuous to the handrail of an adjacent stair flight or ramp run. A repair or replacement is needed. A qualified contractor should repair or replace as needed.



4.3 Item 1(Picture)



4.3 Item 2(Picture)

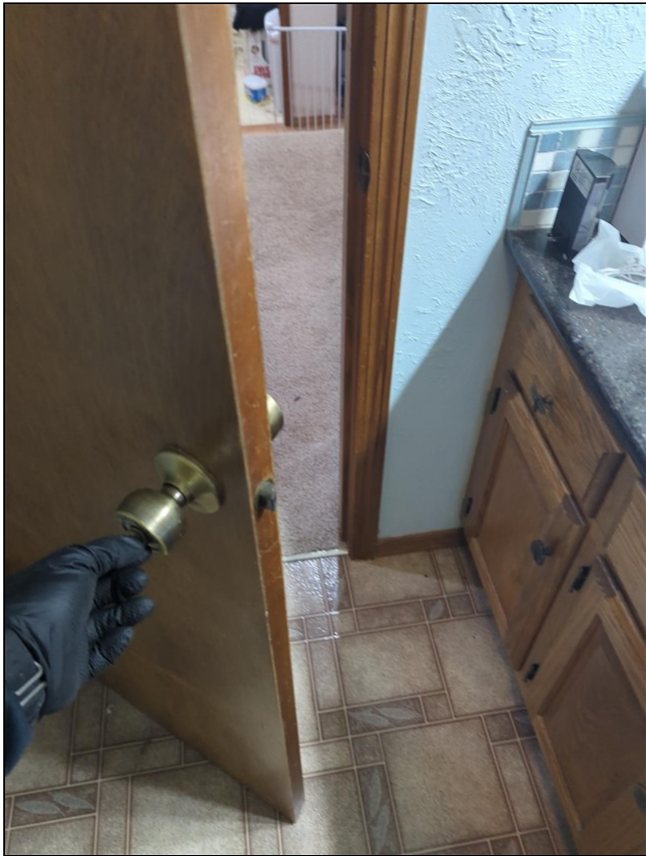
4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

 The door did not have a door knob that locked at the hall bath. This is a privacy issue and is for your information. A qualified contractor should inspect and repair as needed.



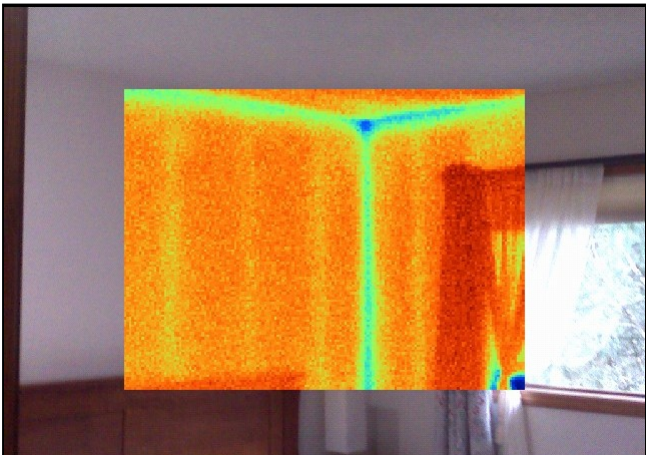
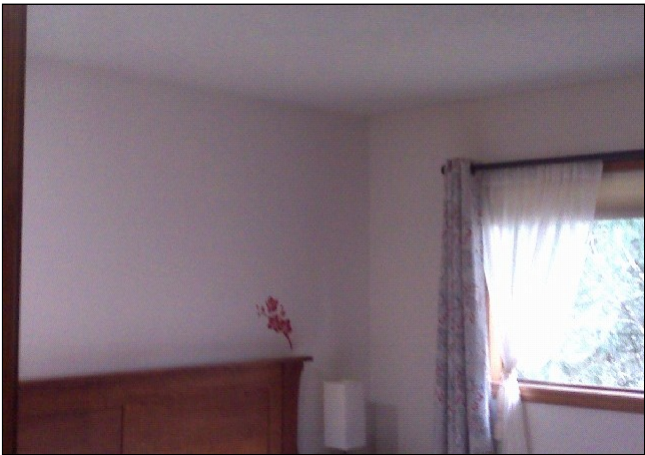
4.5 Item 1(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)
Comments: Inspected

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure



Normal structure

Styles & Materials

Foundation:

- Poured concrete
- Continuous
- Stem wall

Wall Structure:

- Wood

Roof-Type:

- Gable
- Shed
- Hybrid

Method used to observe Crawlspace:

- Crawled

Columns or Piers:

- Wood piers

Method used to observe attic:

- From entry

Floor Structure:

- Wood beams

Roof Structure:

- Wood Rafters

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected

- 🔧 The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.



5.0 Item 1(Picture)

5.1 CRAWLSPACE MOISTURE

Comments: Inspected

5.2 WALLS (Structural)

Comments: Inspected

5.3 COLUMNS OR PIERS

Comments: Inspected

5.4 FLOORS (Structural)

Comments: Inspected

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected

5.7 WOOD DESTROYING ORGANISMS

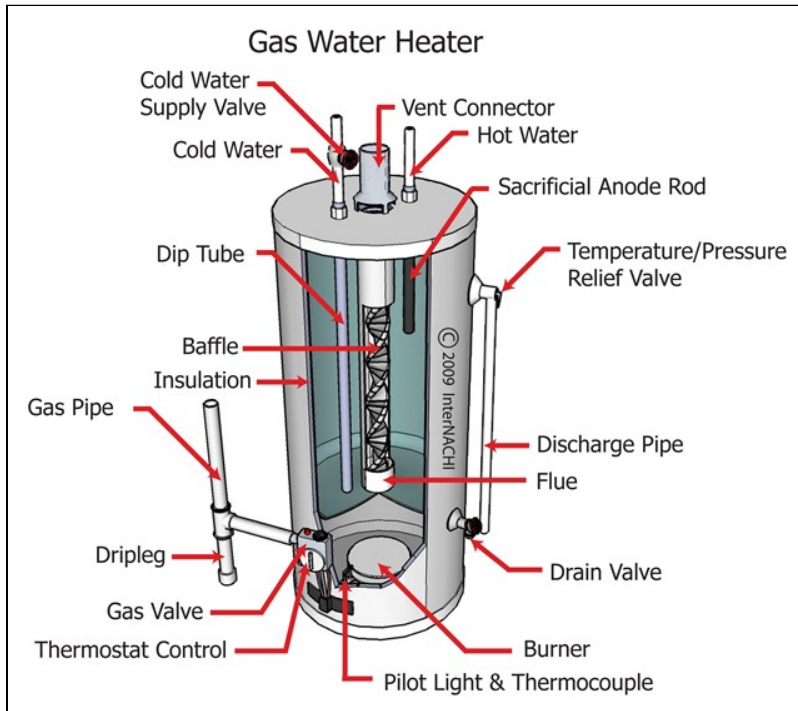
Comments: Inspected

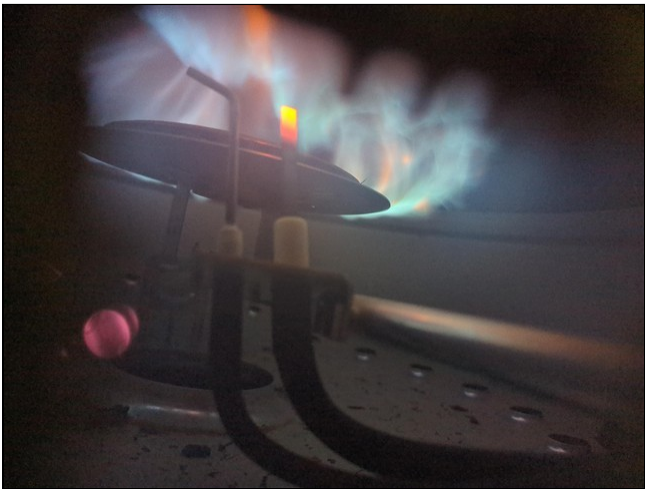
No activity could be observed at the time of the inspection.

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





Styles & Materials

Water Source: Public	Plumbing Water Supply (into building): Copper	Plumbing Water Distribution (inside building): Copper
Washer Drain Size: 2" Diameter	Plumbing Waste/Vent: ABS	Water Heater Power Source: Gas
Water Heater Capacity: 50 Gallon (2-3 Bathrooms)	Manufacturer: RELIANCE	Approximate Year of the Water Heater(s): 2015

Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS
Comments: Inspected, Repair or Replace

- 🔧 (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
- 🔧 (2) The stop-valve does not work properly at the master bath sink (right sink). Repairs are needed. A qualified licensed plumber should repair or correct as needed.



6.0 Item 1(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The outside water faucet threads were stripped at the front of the building. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 1(Picture)

- 🔍 (2) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected, Repair or Replace

- 🔧 (1) The main shut off was located outside in the ground was buried. The dirt should be removed to

provide proper access.



6.3 Item 1(Picture)

(2) The main shut offs were located outside in the ground and crawlspace.



6.3 Item 2(Picture)



6.3 Item 3(Picture)

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

- 🔧 The gas line had a leak near the gas meter. This leakage should be repaired promptly by a licensed professional contractor.



6.4 Item 1(Picture)

6.5 MAIN FUEL SHUT OFF (Describe Location)

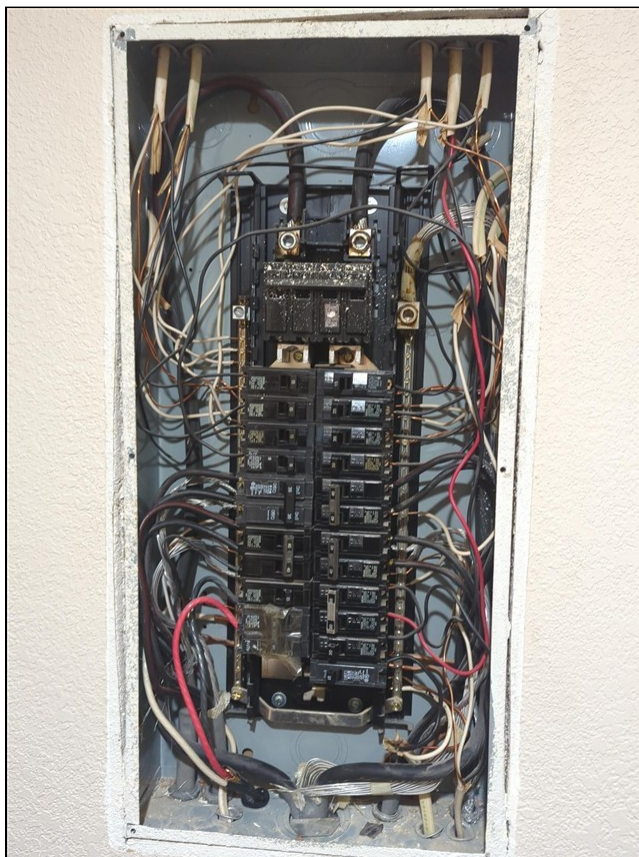
Comments: Inspected

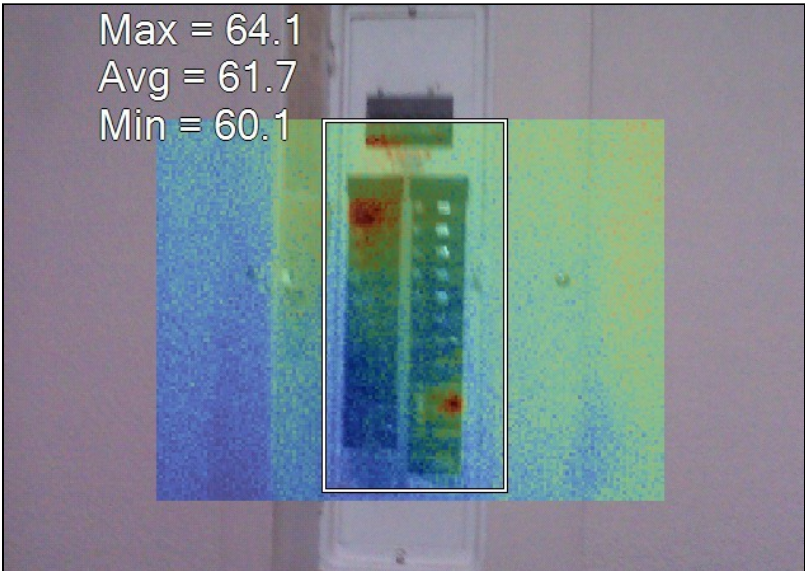
The main fuel shut off was at gas meter outside

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load

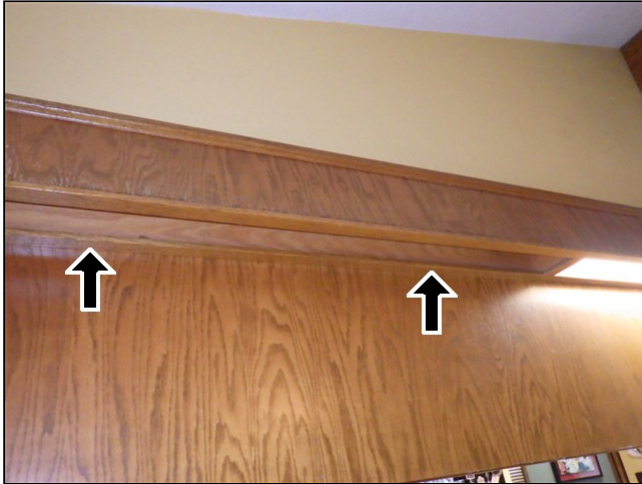
Styles & Materials

Electrical Service Conductors: Below ground Aluminum 240 volts	Panel capacity: 200 AMP	Electric Panel Manufacturer: Industrial Electric Manufacturing Inc. ITE
Panel Type: Circuit breakers	Sub Panel Manufacturer: None	Branch wire 15 and 20 AMP: Copper
Wiring Methods: Non Metallic sheathed Cable		

Inspection Items

- 7.0 SERVICE ENTRANCE CONDUCTORS
Comments: Inspected
- 7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS
Comments: Inspected
- 7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE
Comments: Inspected
- 7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)
Comments: Inspected, Repair or Replace

- 🔧 The light fixture did not work in the kitchen soffit. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.



7.3 Item 1(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

- 🔧 The addition of GFCI's to the building in the garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf



7.5 Item 1(Picture)



7.5 Item 2(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected
The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

 The battery operated smoke detectors are older than 10 years throughout the home. Smoke detectors that are 10 years or older should be replaced with modern units equipped with a hush feature and if they are an ionization type they need a 10 year ultralife battery. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

Oregon law regarding smoke alarms - ORS 479.250 to 479.300

(This is a summary and not a substitute for reading the entire statute.)

Technical requirements for alarms

ORS 479.297

All ionization smoke alarms sold in Oregon

1) must have a hush feature enabling a person to silence the alarm for a period of not more than fifteen minutes; and,

Maintenance

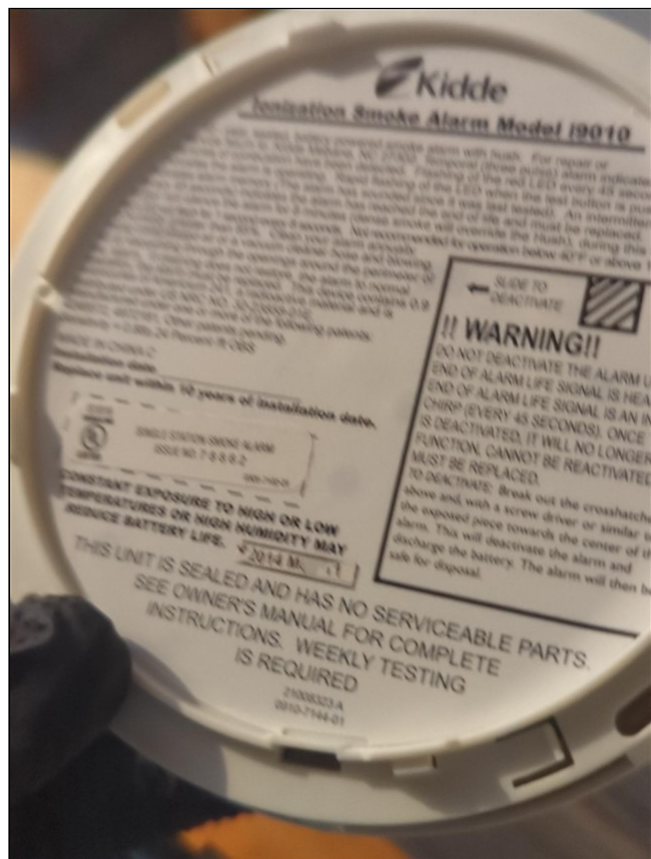
1) Monthly - test alarm and vacuum to remove dust and cobwebs.

2) **Replace alarms ten years old or older because the sensor wears out. Look for the date stamp on the back of the alarm.**

7.7 Item 1(Picture)



7.7 Item 2(Picture)



7.7 Item 3(Picture)

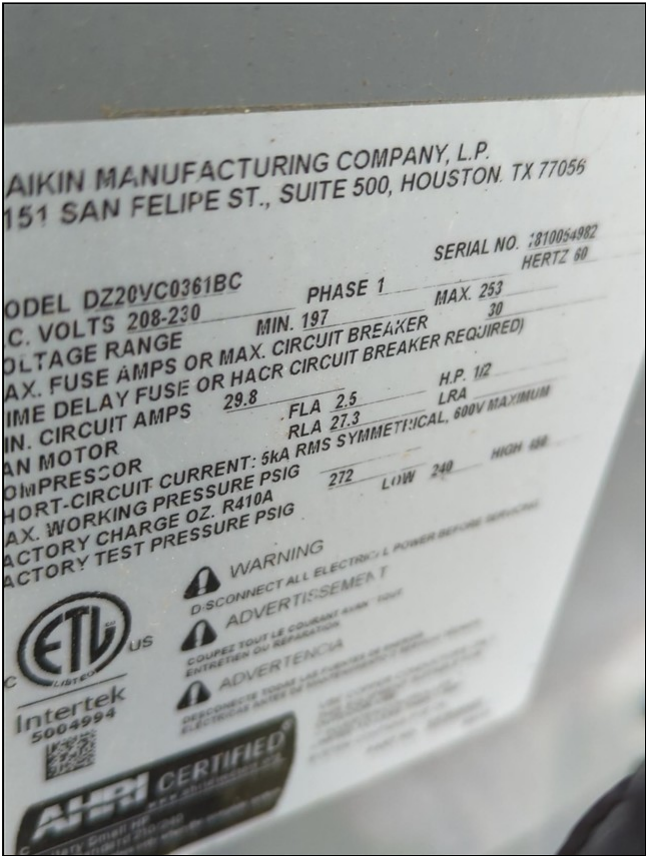
7.8 CARBON MONOXIDE DETECTORS

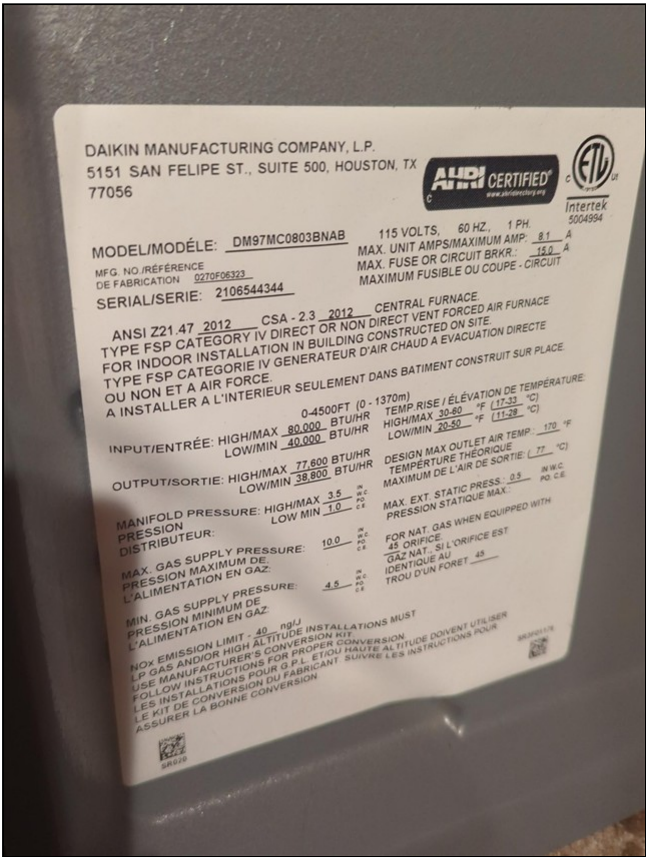
Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





Styles & Materials

Heat Type:
Heat Pump Forced Air (also provides cool

Energy Source:
Natural gas

Heat System Brand:
DAIKIN

air)		
Forced Air		
High (90%+) Efficiency		
Approximate age of Furnace/boiler:	Ductwork:	Filter Type:
2021	Insulated	Disposable
Filter Size:	Types of Fireplaces:	Number of Installed
16x25	Vented gas logs	Woodstoves:
		None
Cooling Equipment Type:	Cooling Equipment Energy Source:	Central Air Manufacturer:
Heat Pump Forced Air (also provides warm air)	Electricity	DAIKIN
Number of AC Only Units:	Approximate age of Central Air Equipment:	
One	2018	

Inspection Items

- 8.0 HEATING EQUIPMENT
- Comments: Inspected
- 8.1 NORMAL OPERATING CONTROLS
- Comments: Inspected
- 8.2 AUTOMATIC SAFETY CONTROLS
- Comments: Inspected
- 8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)
- Comments: Inspected
- 8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM
- Comments: Inspected
- 8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)
- Comments: Inspected
- 8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)
- Comments: Not Present
- 8.7 GAS/LP FIRELOGS AND FIREPLACES
- Comments: Inspected
- 8.8 COOLING AND AIR HANDLER EQUIPMENT
- Comments: Not Inspected
-  The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

- Blown
- Batt
- Fiberglass
- Approximate
- R-30 or better

Ventilation:

- Roof vents
- Soffit Vents

Exhaust Fans:

- Fan only

Dryer Power Source:

- 240 Electric

Dryer Vent:

- Metal

Floor System Insulation:

- Batts
- Fiberglass
- R-25

Vapor Retarder/Barrier:

- Black Plastic

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

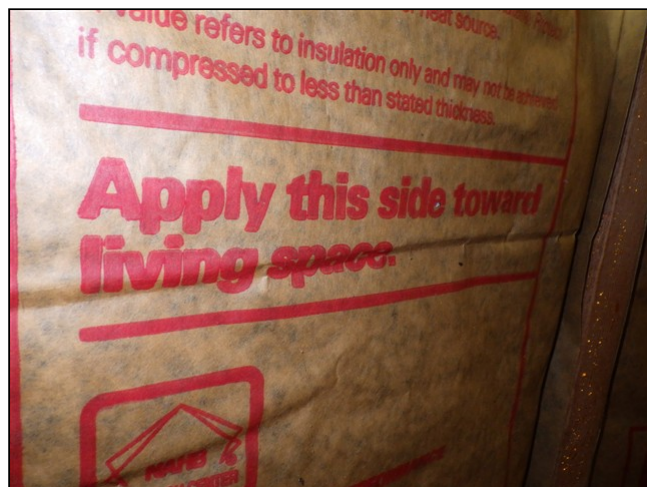
(1) Fiberglass (Batts) insulation is installed with "paper or kraft" face out. The paper side should always face the "conditioned space" or condensation could occur in attic. Condensation can cause mold or wood deterioration. A qualified contractor should inspect and repair as needed.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)

🔧 (2) Fiberglass (Batts) insulation was fallen in areas of the vault in attic. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 4(Picture)



9.0 Item 5(Picture)

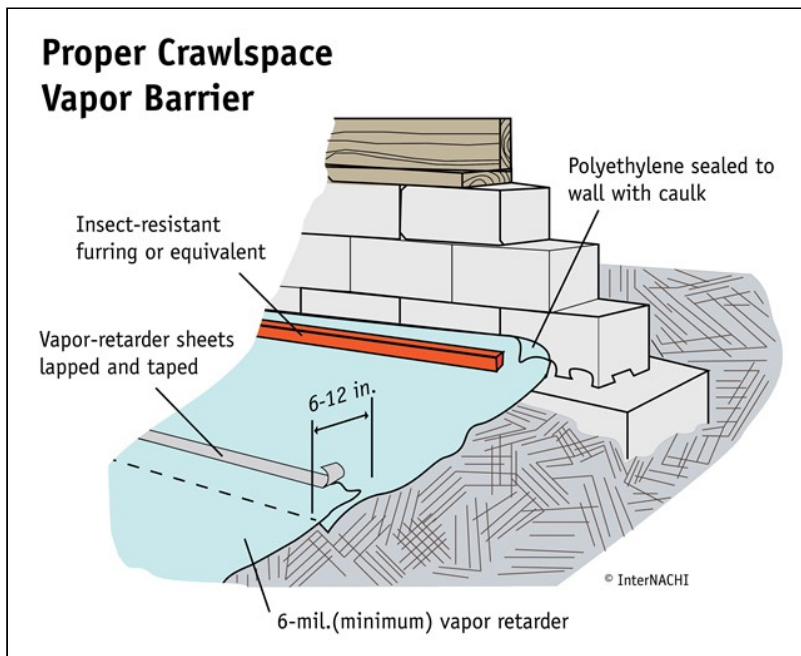
9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

- 🔧 The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)



9.2 Item 3(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected

9.4 VENTING SYSTEMS (Baths and laundry)

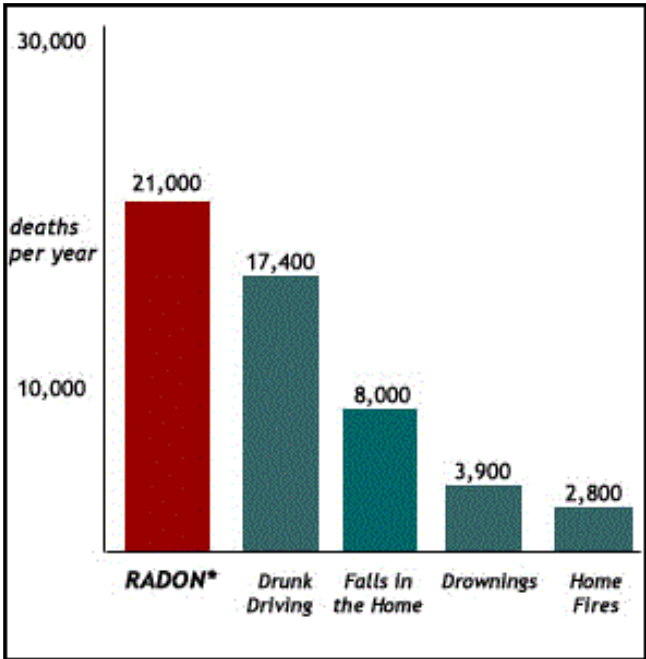
Comments: Inspected

9.5 RADON MITIGATION SYSTEM

Comments: Not Present, Monitor

You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

Disposer Brand: WHIRLAWAY	Installed Dishwasher Brand: KITCHEN AID	Range/Oven/Cooktop: DACOR
Kitchen Exhaust/Range hood: PRESENZA	Built in Microwave: NONE	Trash Compactors: NONE

Inspection Items

- 10.0 FOOD WASTE DISPOSER
Comments: Inspected
- 10.1 INSTALLED DISHWASHER
Comments: Inspected
- 10.2 RANGES/OVENS/COOKTOPS
Comments: Inspected, Repair or Replace

🔧 The left rear burner for range would not ignite properly. I recommend repair as needed.



10.2 Item 1(Picture)

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Not Present

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT

Salem, OR 97304

503.508.4321 Jallhiser@PerfectionInspectionInc.com

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Oregons standards of practice for home inspections](#)

[Home Inspection consumer protection notice](#)