

Perfection[✓] Inspection, Inc

MacKenzie Moore

Property Address:
1030 21st St NE
Salem OR 97301



11/7/2025

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

**1160 31st CT
Salem, OR 97304
503.508.4321 jallhiser@PerfectionInspectionInc.com**

J. C. President



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Date: 11/7/2025	Time: 09:00 AM	Report ID: 20251107-1030-21st-St-NE
Property: 1030 21st St NE Salem OR 97301	Customer: MacKenzie Moore	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

This building is older than 50 years and the inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult with a one time inspection and on an older building. Sometimes in older buildings there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this building. Always consider hiring the appropriate expert for any repairs or further inspection.

This building is considered a "fixer upper." The inspection is limited to what can be inspected in regards to floor and wall coverings and general cosmetics. You should be aware of obvious areas that need prep and paint, or replacement of coverings. These items represent the overall condition of building. The inspection of main components is the purpose of this inspection. Components such as structure, roof, plumbing, heating and electrical are main components. Utilities must be on for inspection of these areas. If the inspection report states that a utility is off (no water, no fuel, or no electrical) then any item relating to these components cannot be inspected. Always consider having the utility on in order to inspect these areas. There is a fee for a return trip to re-inspect.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Customer's representative	Type of building: Single Family (1 story)
Approximate Year Built: 1925	Temperature: Below 60	Weather: Partly Cloudy
Ground/Soil surface condition: Wet	Rain in last 3 days: Yes	Radon Test: No

Repair Summary

Perfection Inspection, Inc

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

 (1) **The roof coverings on the house and garage were old, and the life of covering has expired. The covering does need to be replaced. A licensed professional roofing contractor should replace the roofing system.**

  (2) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

 (3) The tree limbs that were in contact with roof or hanging near roof should be trimmed. The surface of the roofing may be damaged under the branches. This issue should be repaired by a licensed professional contractor.

1.1 FLASHINGS

Inspected, Repair or Replace

 The edge metal is installed incorrectly and should be repaired and any damaged sheathing uncovered during repair should be repaired or replaced. The edge metal in this installation will allow water that is on the shingles to wick under the edge metal and access the wood sheathing. More information here: [Edge metal installation](#)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

-  (1) The plumbing vent pipe flashing(s) need repair/replacement around the perimeter of pipe where boot flanges have failed. A qualified, licensed professional should examine and correct as necessary

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (1) The gutter were missing at the front and rear of the building. Missing gutters that allow storm water to splash near the foundation can cause moisture issues around the building and can lead to foundation issues. A qualified contractor should inspect and repair as needed.
-  (2) The gutter were damaged at the garage. Loose or leaking gutters can cause deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

-  (1) The wood siding at the south side of of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-  (2) Paint was worn on siding. The building should be properly prepped and painted to preserve the building envelope.
-  (3) The paint was peeling in areas. The building was built prior to 1978 and there is a chance of lead paint. If you are painting or planning on repairing areas and disturbing the paint you should consider having the building tested for lead or assuming the building has lead if you elect to not test. If the building has lead paint careful control of the dust and paint chips must be strictly attended. If the building is to be rented, additional rules will apply for who can paint or conduct repairs.
-  (4) The siding is deteriorated on bottom edge along the garage. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-  (5) Siding in contact with ground at garage. Because the siding is in contact with ground it is possible for framing to be deteriorated. We did not inspect behind this siding. Recommend a ground clearance of six to eight inches where possible.
-  (6) The hole(s) in siding need to be properly filled/caulked/painted at the north side of the building where the dryer duct penetrates the building envelope.
-  (7) The wood trim at the front of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.

2.1 DOORS (Exterior)

Inspected, Repair or Replace

-  The access door to the crawlspace did not completely seal the opening, allowing pest entry. I recommend a licensed professional contractor repair as needed.

2.2 WINDOWS

Inspected, Repair or Replace

-  (1) The wood trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.
-  (2) The window sill was deteriorated at south side of the building. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.
-  (3) The glazing putty that holds the glass in the sash is failing at some windows. A qualified person should repair and re-putty as necessary. This is a normal maintenance item.

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Inspected, Repair or Replace

-  (1) The guardrails on deck at the rear of the building were loose. Rails should be able to support 200lbs of lateral force and not deflect more than 1/4". A fall or injury could occur if not corrected. A qualified contractor should repair or replace as needed.
-  (2) The wood structure on the deck at the front of the building had some boards that were

deteriorated. Further deterioration can occur if not repaired. A qualified contractor should repair or replace as needed.



(3) The deck's ledger board at the rear of the building did not appear to have the proper flashing installed to prevent water from getting in between the home and the deck. This could lead to moisture issues against the home. I recommend monitor and repair if needed.



(4) The deck structure on the rear of the building were not installed properly. The joist hangers were missing fasteners and were using the wrong fasteners. A qualified contractor should repair or replace as needed.

Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace



The plants should be trimmed or removed from contact with the buildings. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace



The paint on eave was failing. I recommend prep and paint at the exterior in areas.

3. Garage

3.3 GARAGE DOOR (S)

Inspected, Repair or Replace



(1) The garage door does not operate properly and falls out of the track. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



(2) The garage door at the side of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace



The opener is an older unit that does not have the electronic safety sensors. The sensors are a modern safety addition that you should consider.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>

4. Interiors

4.1 WALLS

Inspected, Repair or Replace



The plaster on the wall was damaged at the bedroom. While this damage is cosmetic, it needs to be repaired. A qualified contractor should inspect and repair as needed.

4.2 FLOORS

Inspected, Repair or Replace



The vinyl reveals seam at the hall bath. Repairs are needed. A qualified contractor should inspect and repair as needed.

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  The entry door was missing knob hardware at the washer/dryer room. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

4.6 WINDOWS (REPRESENTATIVE NUMBER)**Inspected, Repair or Replace**

-  (1) The wood windows were stuck or painted shut throughout the building. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.
-   (2) The windows show evidence of high moisture levels and condensation issues. This is a common occurrence with tightly sealed window coverings in sleeping rooms and windows that are facing the weather. I recommend cleaning the windows periodically and opening the shades in the mornings to allow the moist areas to ventilate.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2011/12/28/window-cleaning/>

5. Structural Components

5.4 FLOORS (Structural)**Inspected, Repair or Replace**

-   Floor joist(s) had some fungal deterioration under the living room. The damaged joist has been sistered and no additional repairs appear to be needed at this time.

5.6 ROOF STRUCTURE AND ATTIC**Inspected, Repair or Replace**

-  The roof sheathing has signs of condensation and apparent fungal growth in areas. Signs of fungi growth indicate that there is too much moisture vapor in the attic. Proper steps to reduce the home's moisture should be taken along with the sealing of the bypasses noted in the attic, to prevent warm, moist house air from readily entering the attic. A insulation/sealing contractor should perform repairs to the bypasses. A qualified, licensed mold remediation should also be performed.

More information on attic moisture and mold: <https://structuretech1.com/mold-in-the-attic/>

The EPA has further information: [Moisture management.](#)

5.7 WOOD DESTROYING ORGANISMS**Inspected, Repair or Replace**

-  (1) No activity could be observed at the time of the inspection.
-   (2) Old historic signs of subterranean termites noted in the crawlspace. No significant, current, ongoing indications of issues within the building however the building should be inspected every year as a matter a maintenance.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS**Inspected, Repair or Replace**

-  (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
-  (2) The waste line did not have the proper slope at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (3) The plumbing waste line was not properly supported in the crawlspace under the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

-  (4) The plumbing waste line appears to be an open pipe that has a wood plug in the crawlspace. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) The sink faucet leaked at the washer/dryer room. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (2) The outside water faucets do not have vacuum-breakers (anti-siphon valves) installed at the front and rear. The valves prevent harmful liquids from entering your water system and should be installed to improve the safety of the building. A qualified licensed plumber should repair or correct as needed.
-  (3) The shower head leaked at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace

-  (1) The water heater bubbled and popped while heating. This suggests a sediment build-up at the bottom. I recommend a licensed plumber inspect further and repair as necessary.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Repair or Replace

-  The corrugated stainless steel tubing did not appear to be properly bonded to the building's electrical ground/bond system. Direct bonding is required for all corrugated stainless steel tubing gas piping systems. Proper bonding and grounding with a #6 copper wire will reduce the possibility of failure and fire due to lightning strikes. **This issue is a manufacturers requirement which supersedes local building codes.**

Refer to page 28 and 29 in the "Pro-Flex" manual: <http://test.proflexcsst.com/wp-content/uploads/2012/06/v16-Pro-Flex-Training-Installation-Guide.pdf>

Some history on this type of piping: http://www.lightning.org/wp-content/uploads/2012/10/09_Presentation-Morgan-CSSTs.pdf

And example video: http://www.youtube.com/watch?feature=player_embedded&v=4Op_TF7tgzg

7. Electrical System

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Inspected, Repair or Replace

-  (1) Screw(s) missing from the sub panel/splice box cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.
-  (2) Missing romex connector(s) in the sub panel/splice box. Romex connectors bind the wires and prevent chaffing on the edge of the sheet metal panel. A qualified licensed electrician should perform repairs that involve wiring.

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Repair or Replace

-  Sub panel/splice box did not have properly isolated neutral and ground bars should be corrected. I recommend a licensed electrician inspect further and correct as needed.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-  (1) The "three-prong" outlets were not grounded throughout the building and garage. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should correct as needed.

More information here: <http://salemoregonhomeinspector.com/2011/08/08/grounded-outlets-gfcis-seatbelts-and-airbags/>

-  (2) The wall switch was missing at the living room. A light source should be able to be controlled when entering a room. A qualified licensed electrician should perform repairs that involve wiring.
-  (3) Improperly secured wiring splice in the crawlspace. This is for your information. I recommend repair as needed.
-  (4) Doorbell did not function. This should be repaired as desired.
-  (5) Exposed wiring on wall near the water heater. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.
-  (6) The "two-prong" outlet was missing cover-plate in the bedroom. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Inspected, Repair or Replace

-  (1) The outlet at the garage was clogged. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (2) The outlet at the kitchen (right of sink) was loose in the wall. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

-  The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

7.7 SMOKE DETECTORS

Inspected, Repair or Replace

-  The smoke detectors are older than 10 years throughout the home. Smoke detectors that are 10 years or older should be replaced with modern units equipped with a hush feature and if they are an ionization type they need a 10 year ultralife battery. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

7.8 CARBON MONOXIDE DETECTORS

Not Present, Repair or Replace

-  There was no carbon monoxide detector found in home. It is recommended that one per bedroom or at least one within 15 feet of the bedroom doors be installed according to the manufacturer's instructions. Since April 1st 2011 carbon monoxide alarms have been required when homes are sold.

<http://www.oregon.gov/osp/SFM/Pages/CommedCOProg.aspx>

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace

-  (1) The minisplit compressor did not operate when tested. A more thorough inspection by a qualified contractor is needed. A qualified HVAC person should inspect further and repair or replace as needed.
-  (2) The wall mounted heater would not turn off when tested in the washer/dryer room. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (3) The electric baseboard did not operate when tested in the south bedroom. I recommend repair as needed.
-  (4) The wall mounted heater did not operate when tested in the front corner bedroom. I recommend repair as needed.

8.7 COOLING AND AIR HANDLER EQUIPMENT

Not Inspected, Repair or Replace

-  The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Inspected, Repair or Replace

-  Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.1 INSULATION UNDER FLOOR SYSTEM

Inspected, Repair or Replace

-  The insulation was deteriorated in areas in the crawlspace. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

-  The vapor retarder (plastic) on the crawlspace ground deteriorated in areas was deteriorated in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Inspected, Repair or Replace

-  (1) One roof vent was missing screen at the rear of the building. A qualified contractor should inspect and repair as needed.
-  (2) The foundation has a hole large enough for pests at the right side (facing front from the inside). Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.

9.5 RADON MITIGATION SYSTEM

Not Present, Repair or Replace

-  You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

10. Built-In Kitchen Appliances

10.0 FOOD WASTE DISPOSER

Inspected, Repair or Replace

-  The food disposer was leaking. I recommend repair as needed.

10.2 RANGES/OVENS/COOKTOPS**Inspected, Repair or Replace**

 The oven door for oven was missing the front trim and glass. I recommend repair as needed.

10.3 RANGE HOOD/KITCHEN VENT**Inspected, Repair or Replace**

 The ceiling mounted fan was an exhaust fan designed for bathrooms and moist air not necessarily designed to handle grease. I recommend repair or replace as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Safety Issues

Perfection Inspection, Inc

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The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace



(2) The wall mounted heater would not turn off when tested in the washer/dryer room. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Monitor

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The following items or discoveries indicate that these systems or components that **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

 (2) The roof had penetrations with the installation of the dish/antennae. No current leakage could be noted however it is recommended that you monitor these penetrations and repair if damage or leakage is observed.

5. Structural Components

5.4 FLOORS (Structural)

Inspected, Repair or Replace

  Floor joist(s) had some fungal deterioration under the living room. The damaged joist has been sistered and no additional repairs appear to be needed at this time.

5.7 WOOD DESTROYING ORGANISMS

Inspected, Repair or Replace

  (2) Old historic signs of subterranean termites noted in the crawlspace. No significant, current, ongoing indications of issues within the building however the building should be inspected every year as a matter a maintenance.

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

- 🔍 (4) Galvanized piping is in this building. Galvanized piping rusts as water flows through. In general the piping will last from 40 to 60 years and will need to be replaced at some point. It is common in vacant buildings for rust to build as the plumbing is not being used. When the plumbing is put into service again, you should expect to remove aerators and possibly take apart fixtures to clean out rust and obstructions. This is for your information.
- 🔍 (5) The shower pan was a "curbless shower." This type of pan offers great access without a curb to potentially trip over however you should be aware that the waterproof membrane, under the tiles usually comes to the edge of the pan. You should be careful to avoid excess water outside to shower threshold to avoid damage to the wood frame in the flooring system.

Refer to this post for more information: <https://www.youtube.com/watch?v=iSd7sOWyv8I&t=4s>

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace

- 🔍 (2) The water heater appears to be at least 10 years old. In general water heaters last 10 to 15 years. Although no current leakage could be noted you should be ready for replacement.

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace

- 🔍 (5) The electric heaters need to have sufficient space from combustible materials. Window coverings can be prone to damage and should be installed to prevent close contact. This is for your information.

8.7 COOLING AND AIR HANDLER EQUIPMENT

Not Inspected, Repair or Replace

- 🔍🔧 The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation

9.5 RADON MITIGATION SYSTEM

Not Present, Repair or Replace

- 🔍🔧 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove

suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Normal Routine Maintenance

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer
MacKenzie Moore

Address
1030 21st St NE
Salem OR 97301

The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

 (2) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

2. Exterior

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

 The plants should be trimmed or removed from contact with the buildings. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.

4. Interiors

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

  (2) The windows show evidence of high moisture levels and condensation issues. This is a common occurrence with tightly sealed window coverings in sleeping rooms and windows that are facing the weather. I recommend cleaning the windows periodically and opening the shades in the mornings to allow the moist areas to ventilate.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2011/12/28/window-cleaning/>

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Metal Flue Pipe		

Inspection Items

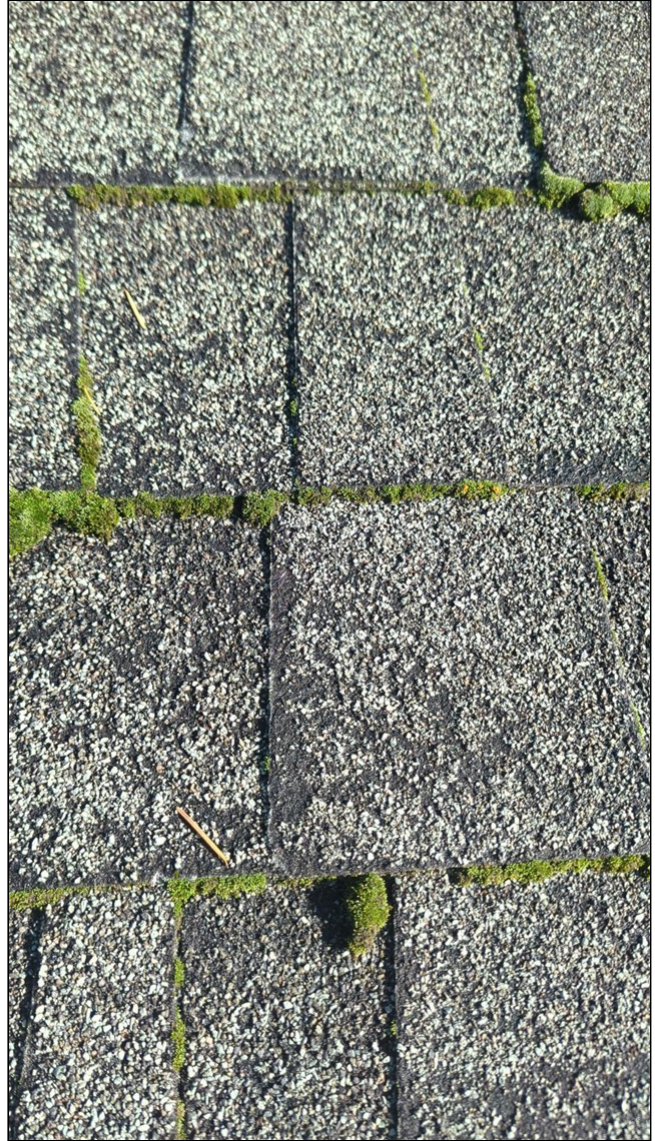
1.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace

- 🔧 (1) **The roof coverings on the house and garage were old, and the life of covering has expired. The covering does need to be replaced. A licensed professional roofing contractor should replace the roofing system.**



1.0 Item 1(Picture)



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)

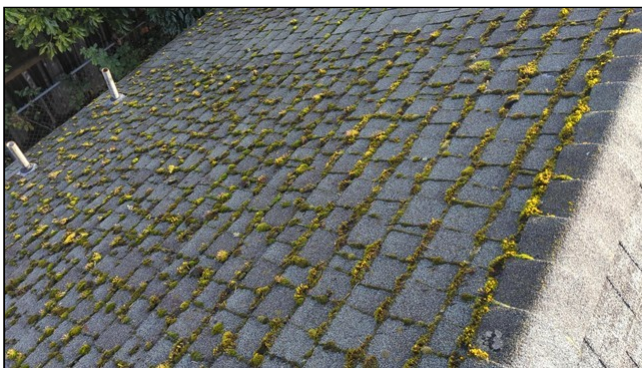


1.0 Item 6(Picture)



(2) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>



1.0 Item 7(Picture)



(3) The tree limbs that were in contact with roof or hanging near roof should be trimmed. The surface of the roofing may be damaged under the branches. This issue should be repaired by a licensed professional contractor.



1.0 Item 8(Picture)

1.1 FLASHINGS

Comments: Inspected, Repair or Replace

- 🔧 The edge metal is installed incorrectly and should be repaired and any damaged sheathing uncovered during repair should be repaired or replaced. The edge metal in this installation will allow water that is on the shingles to wick under the edge metal and access the wood sheathing. More information here: [Edge metal installation](#)



1.1 Item 1(Picture)



1.1 Item 2(Picture)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected, Repair or Replace

- 🔧 (1) The plumbing vent pipe flashing(s) need repair/replacement around the perimeter of pipe where boot flanges have failed. A qualified, licensed professional should examine and correct as necessary



1.2 Item 1(Picture)

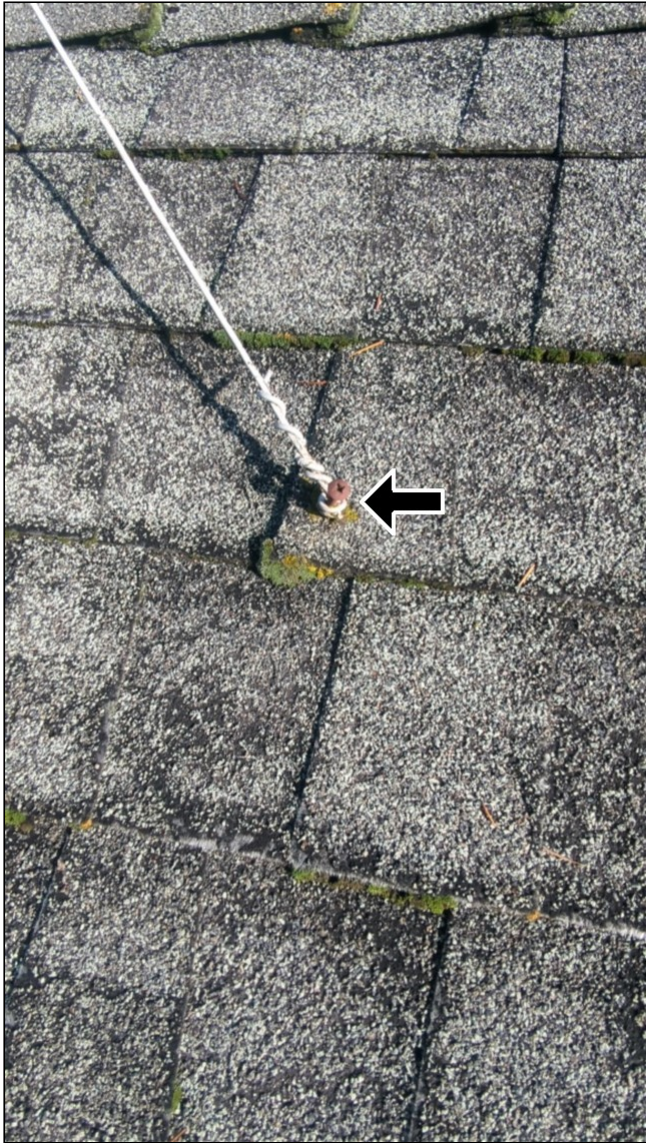


1.2 Item 2(Picture)

🔍 (2) The roof had penetrations with the installation of the dish/antennae. No current leakage could be noted however it is recommended that you monitor these penetrations and repair if damage or leakage is observed.



1.2 Item 3(Picture)



1.2 Item 4(Picture)



1.2 Item 5(Picture)



1.2 Item 6(Picture)

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected, Repair or Replace

🔍 (1) The gutter were missing at the front and rear of the building. Missing gutters that allow storm water to splash near the foundation can cause moisture issues around the building and can lead to foundation

issues. A qualified contractor should inspect and repair as needed.



1.3 Item 1(Picture)

(2) The gutter were damaged at the garage. Loose or leaking gutters can cause deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.



1.3 Item 2(Picture)



1.3 Item 3(Picture)



1.3 Item 4(Picture)

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to not be leaking during the inspection and weather conditions. Our inspection makes an attempt to find leaks but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style: Shingle	Siding Material: Wood	Exterior Entry Doors: Composite
Driveway/Parking Area: Concrete	Retaining wall that Affects the Building: None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

(1) The wood siding at the south side of of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

(2) Paint was worn on siding. The building should be properly prepped and painted to preserve the building envelope.



2.0 Item 3(Picture)

(3) The paint was peeling in areas. The building was built prior to 1978 and there is a chance of lead paint. If you are painting or planning on repairing areas and disturbing the paint you should consider having the building tested for lead or assuming the building has lead if you elect to not test. If the building has lead paint careful control of the dust and paint chips must be strictly attended. If the

building is to be rented, additional rules will apply for who can paint or conduct repairs.



2.0 Item 4(Picture)

(4) The siding is deteriorated on bottom edge along the garage. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 5(Picture)

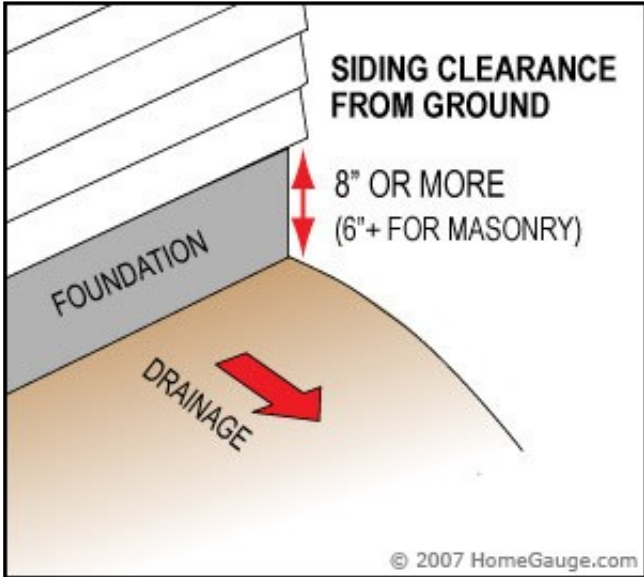


2.0 Item 6(Picture)



2.0 Item 7(Picture)

- (5) Siding in contact with ground at garage. Because the siding is in contact with ground it is possible for framing to be deteriorated. We did not inspect behind this siding. Recommend a ground clearance of six to eight inches where possible.



2.0 Item 8(Picture)



2.0 Item 9(Picture)

- (6) The hole(s) in siding need to be properly filled/caulked/painted at the north side of the building where the dryer duct penetrates the building envelope.



2.0 Item 10(Picture)

- 🔧 (7) The wood trim at the front of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 11(Picture)

2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

- 🔧 The access door to the crawlspace did not completely seal the opening, allowing pest entry. I recommend a licensed professional contractor repair as needed.



2.1 Item 1(Picture)

2.2 WINDOWS

Comments: Inspected, Repair or Replace

- 🔧 (1) The wood trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.



2.2 Item 1(Picture)



2.2 Item 2(Picture)

- 🔧 (2) The window sill was deteriorated at south side of the building. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.



2.2 Item 3(Picture)



2.2 Item 4(Picture)

- 🔧 (3) The glazing putty that holds the glass in the sash is failing at some windows. A qualified person should repair and re-putty as necessary. This is a normal maintenance item.



2.2 Item 5(Picture)

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected, Repair or Replace

- 🔧 (1) The guardrails on deck at the rear of the building were loose. Rails should be able to support 200lbs

of lateral force and not deflect more than 1/4". A fall or injury could occur if not corrected. A qualified contractor should repair or replace as needed.



2.3 Item 1(Picture)



(2) The wood structure on the deck at the front of the building had some boards that were deteriorated. Further deterioration can occur if not repaired. A qualified contractor should repair or replace as needed.

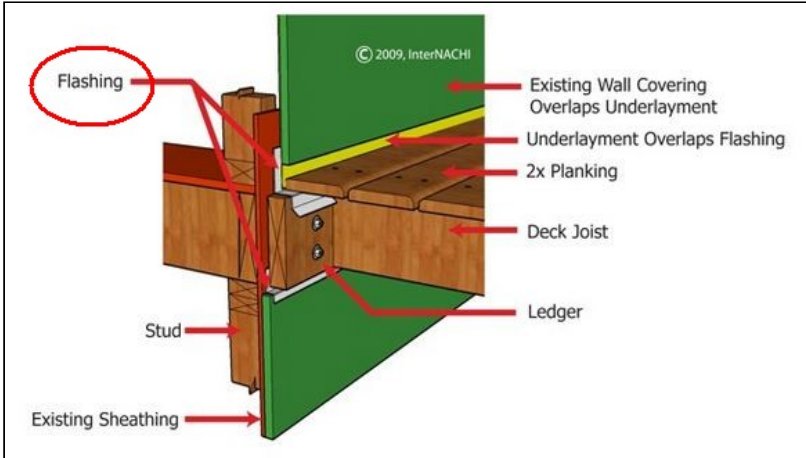


2.3 Item 2(Picture)



2.3 Item 3(Picture)

(3) The deck's ledger board at the rear of the building did not appear to have the proper flashing installed to prevent water from getting in between the home and the deck. This could lead to moisture issues against the home. I recommend monitor and repair if needed.



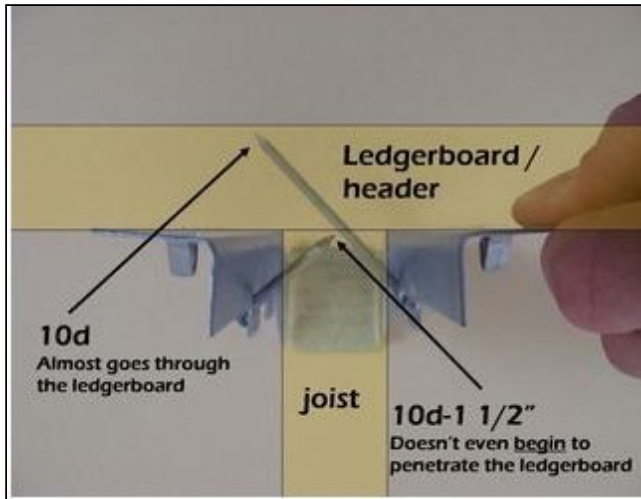
2.3 Item 4(Picture)



2.3 Item 5(Picture)

- 🔧 (4) The deck structure on the rear of the building were not installed properly. The joist hangers were missing fasteners and were using the wrong fasteners. A qualified contractor should repair or replace as needed.

Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>



2.3 Item 6(Picture)



2.3 Item 7(Picture)



2.3 Item 8(Picture)



2.3 Item 9(Picture)

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected, Repair or Replace



The plants should be trimmed or removed from contact with the buildings. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.



2.4 Item 1(Picture)



2.4 Item 2(Picture)

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace



The paint on eave was failing. I recommend prep and paint at the exterior in areas.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with an appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments. The inspection of the garage was limited by storage. Significant areas could not be viewed. If additional inspections or return trips are desired additional fees will apply.

Styles & Materials

Garage Door Type: One automatic	Garage Door Material: Metal	Auto-opener Manufacturer: CRAFTSMAN
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Did the Garage Door Opener Reverse when met with Resistance?:

This function could not be tested

Inspection Items

3.0 GARAGE CEILINGS

Comments: Inspected

3.1 GARAGE WALLS

Comments: Inspected

3.2 GARAGE FLOOR

Comments: Inspected

3.3 GARAGE DOOR (S)

Comments: Inspected, Repair or Replace

🔧 (1) The garage door does not operate properly and falls out of the track. This should be repaired/ replaced. A qualified contractor should inspect and repair as needed.



3.3 Item 1(Picture)

- 🔧 (2) The garage door at the side of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.



3.3 Item 2(Picture)

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

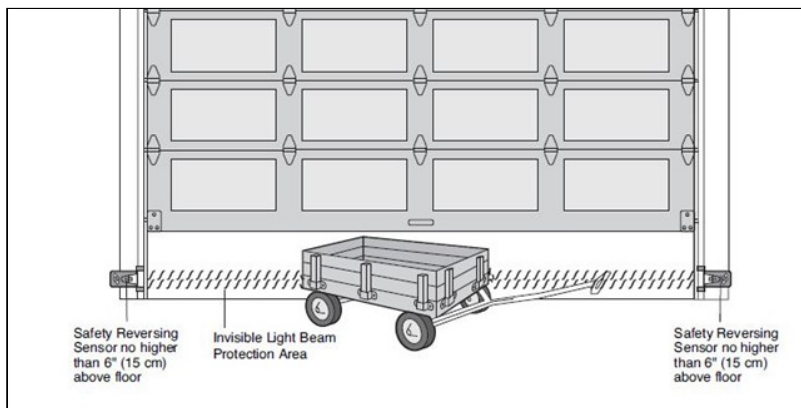
Comments: Not Present

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

- 🔧 The opener is an older unit that does not have the electronic safety sensors. The sensors are a modern safety addition that you should consider.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>



3.5 Item 1(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Plaster	Wall Material: Plaster Paneling	Floor Covering(s): Vinyl Carpet Softwood
Interior Doors: Wood	Window Types: Double-hung Storm windows Wood Frame	Cabinetry: Wood
Countertop: Solid Surface		

Inspection Items

4.0 CEILINGS

Comments: Inspected

4.1 WALLS

Comments: Inspected, Repair or Replace

 The plaster on the wall was damaged at the bedroom. While this damage is cosmetic, it needs to be repaired. A qualified contractor should inspect and repair as needed.



4.1 Item 1(Picture)

4.2 FLOORS

Comments: Inspected, Repair or Replace

- 🔧 The vinyl reveals seam at the hall bath. Repairs are needed. A qualified contractor should inspect and repair as needed.



4.2 Item 1(Picture)

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 The entry door was missing knob hardware at the washer/dryer room. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



4.5 Item 1(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 (1) The wood windows were stuck or painted shut throughout the building. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.



4.6 Item 1(Picture)

- 🏠 (2) The windows show evidence of high moisture levels and condensation issues. This is a common occurrence with tightly sealed window coverings in sleeping rooms and windows that are facing the weather. I recommend cleaning the windows periodically and opening the shades in the mornings to allow the moist areas to ventilate.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2011/12/28/window-cleaning/>

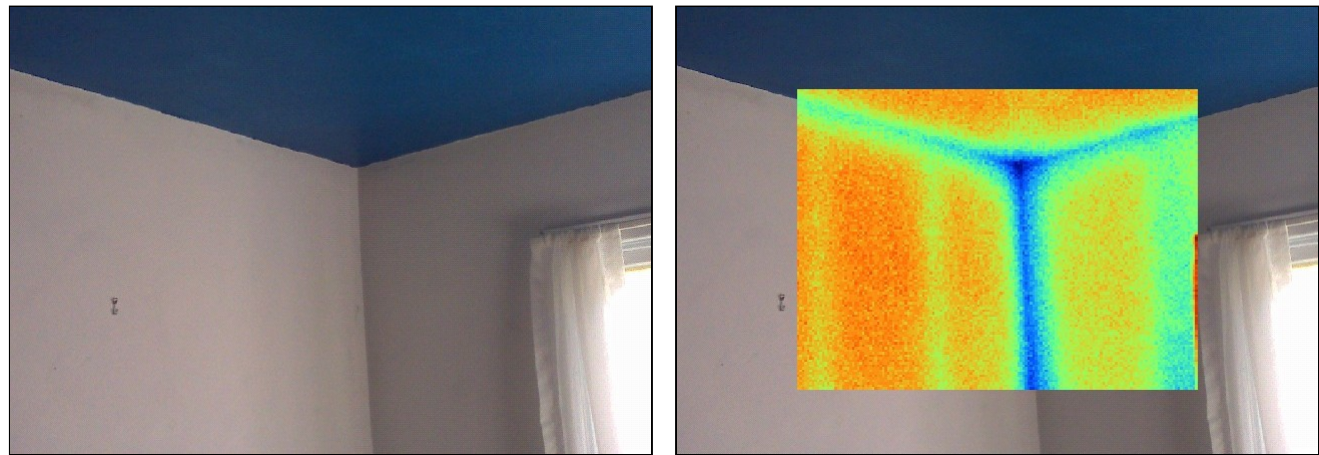


4.6 Item 2(Picture)

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall Masonry block	Method used to observe Crawlspace: Crawled	Floor Structure: Wood beams Wood joists
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: 2 X 4 Rafters 2 X 6 Rafters
Roof-Type: Gable	Method used to observe attic: From entry	

Inspection Items

- 5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES
- Comments: Inspected
- 5.1 CRAWLSPACE MOISTURE
- Comments: Inspected
- 5.2 WALLS (Structural)
- Comments: Inspected
- 5.3 COLUMNS OR PIERS
- Comments: Inspected
- 5.4 FLOORS (Structural)
- Comments: Inspected, Repair or Replace

- 🔍 Floor joist(s) had some fungal deterioration under the living room. The damaged joist has been sistered
🔧 and no additional repairs appear to be needed at this time.



5.4 Item 1(Picture)

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

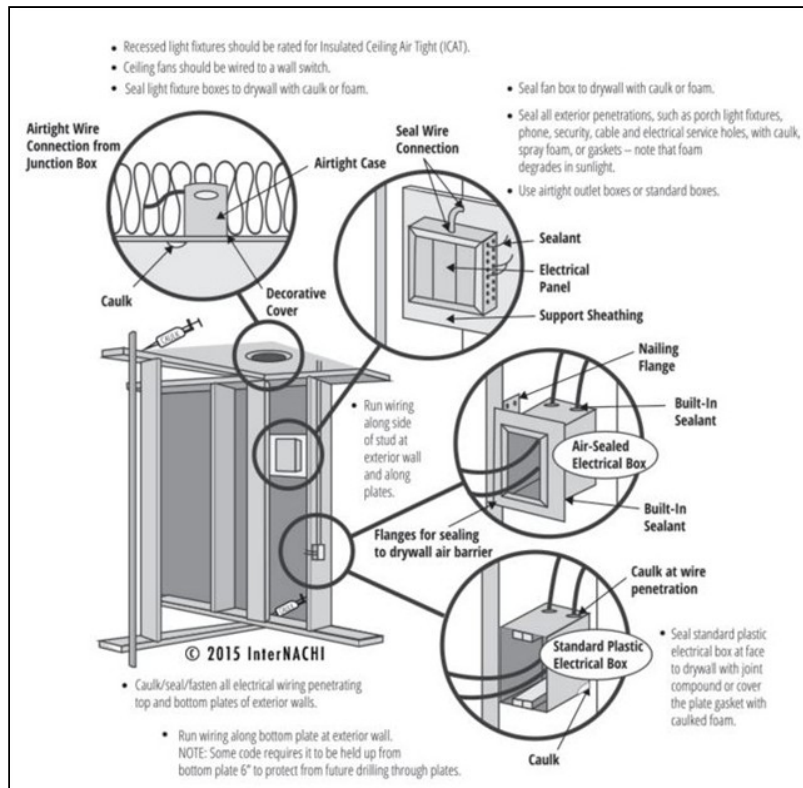
Comments: Inspected, Repair or Replace



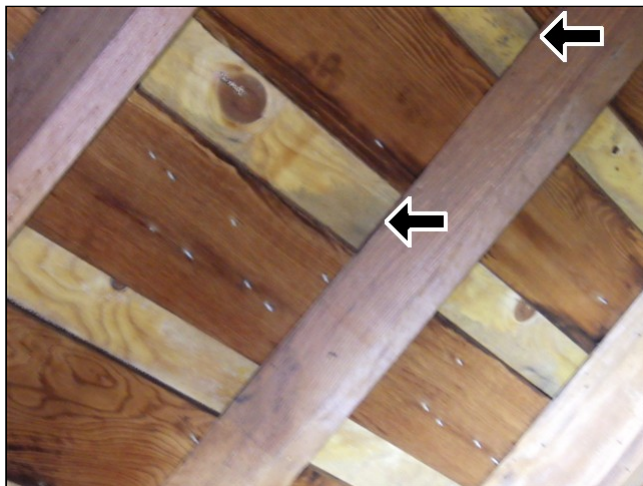
The roof sheathing has signs of condensation and apparent fungal growth in areas. Signs of fungi growth indicate that there is too much moisture vapor in the attic. Proper steps to reduce the home's moisture should be taken along with the sealing of the bypasses noted in the attic, to prevent warm, moist house air from readily entering the attic. A insulation/sealing contractor should perform repairs to the bypasses. A qualified, licensed mold remediation should also be performed.

More information on attic moisture and mold: <https://structuretech1.com/mold-in-the-attic/>

The EPA has further information: [Moisture management.](#)



5.6 Item 1(Picture)



5.6 Item 2(Picture)

5.7 WOOD DESTROYING ORGANISMS

Comments: Inspected, Repair or Replace



(1) No activity could be observed at the time of the inspection.



(2) Old historic signs of subterranean termites noted in the crawlspace. No significant, current, ongoing

🔧 indications of issues within the building however the building should be inspected every year as a matter a maintenance.

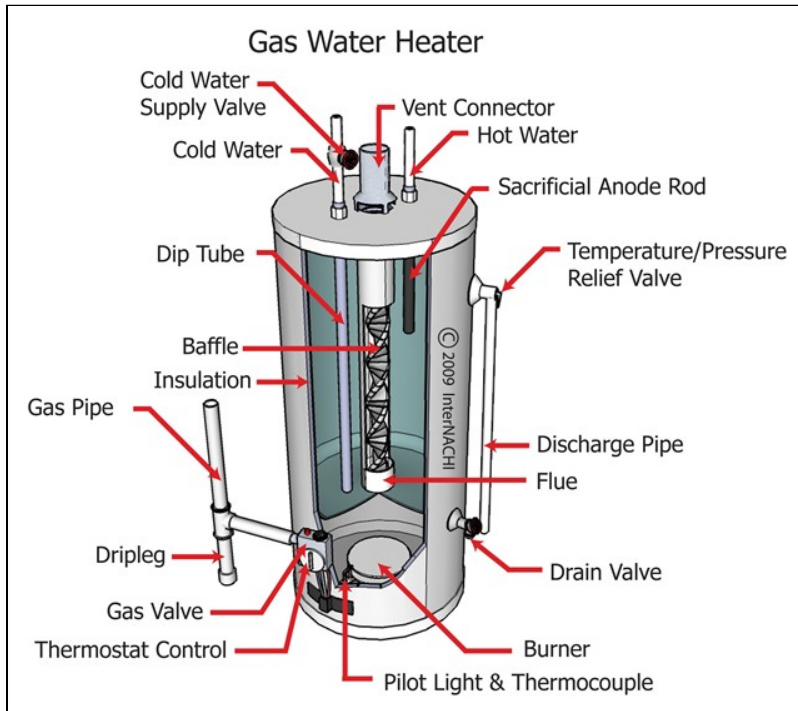


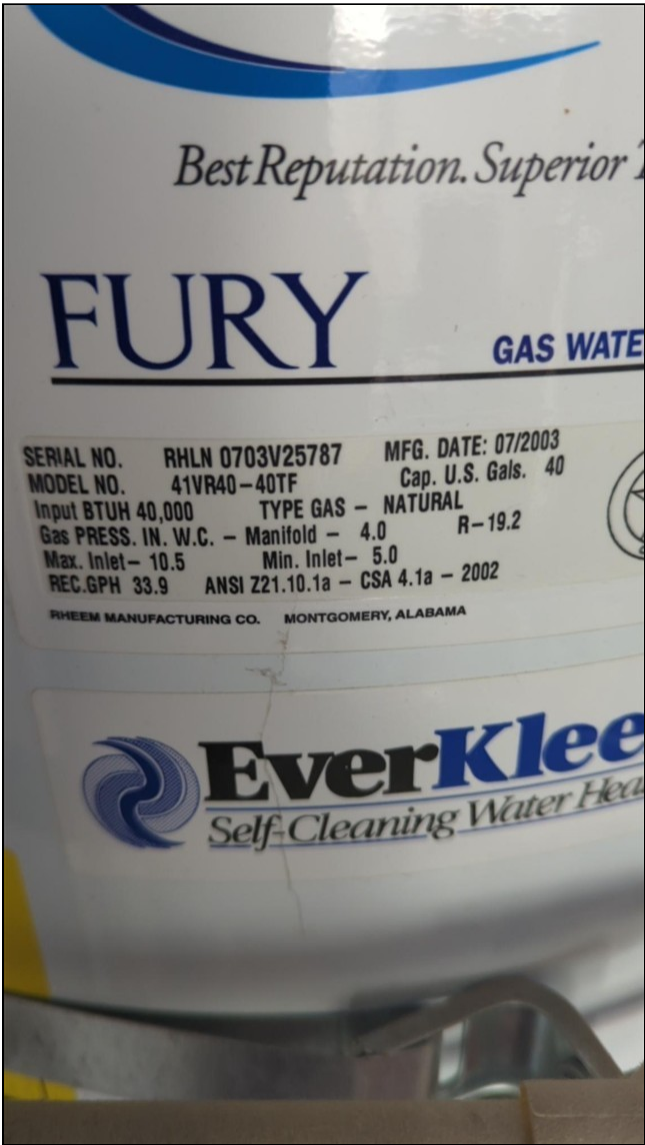
5.7 Item 1(Picture)

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





Styles & Materials

Water Source: Public	Plumbing Water Supply (into building): Copper	Plumbing Water Distribution (inside building): Galvanized PEX (Cross-Linked Polyethylene)
Washer Drain Size: Sink	Plumbing Waste/Vent: Cast iron Galvanized	Water Heater Power Source: Gas
Water Heater Capacity: 40 Gallon	Manufacturer: RHEEM	Approximate Year of the Water Heater(s): 2003

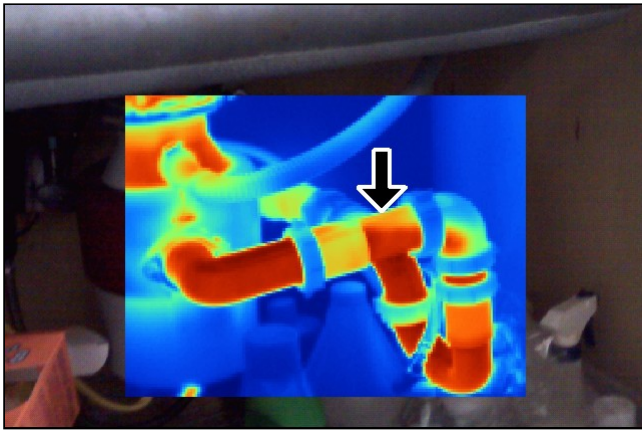
Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected, Repair or Replace

-  (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
-  (2) The waste line did not have the proper slope at the kitchen sink. Repairs are needed. I recommend a

licensed plumber inspect further and repair as necessary.



6.0 Item 1(Picture)

(3) The plumbing waste line was not properly supported in the crawlspace under the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 2(Picture)

- 🔧 (4) The plumbing waste line appears to be an open pipe that has a wood plug in the crawlspace. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

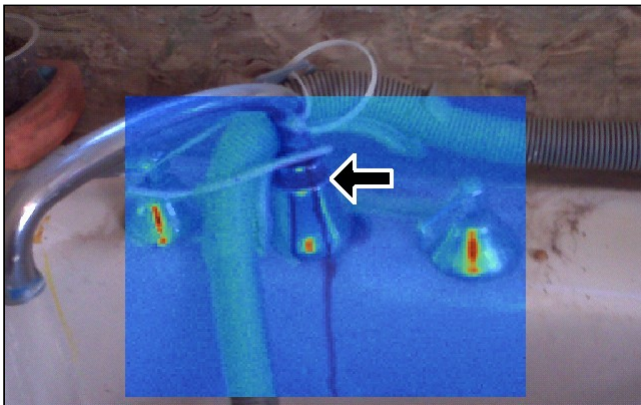


6.0 Item 3(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The sink faucet leaked at the washer/dryer room. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



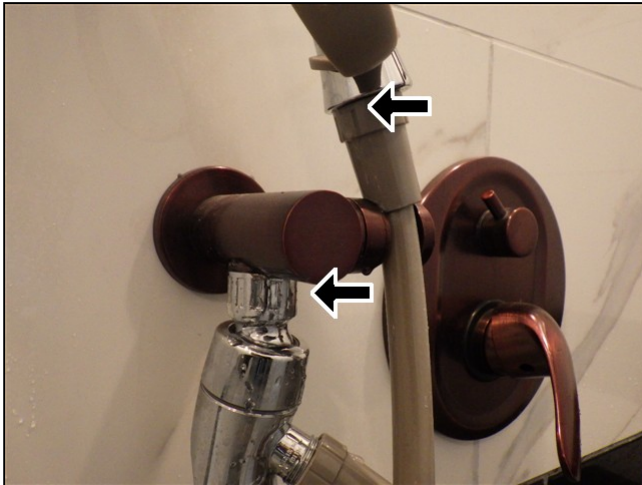
6.1 Item 1(Picture)

- 🔧 (2) The outside water faucets do not have vacuum-breakers (anti-siphon valves) installed at the front and rear. The valves prevent harmful liquids from entering your water system and should be installed to improve the safety of the building. A qualified licensed plumber should repair or correct as needed.



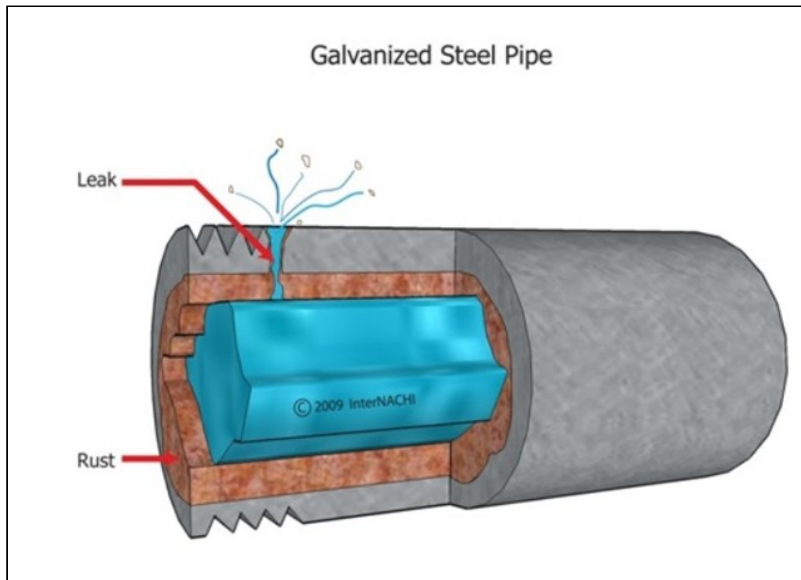
6.1 Item 2(Picture)

- 🔧 (3) The shower head leaked at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 3(Picture)

- 🔍 (4) Galvanized piping is in this building. Galvanized piping rusts as water flows through. In general the piping will last from 40 to 60 years and will need to be replaced at some point. It is common in vacant buildings for rust to build as the plumbing is not being used. When the plumbing is put into service again, you should expect to remove aerators and possibly take apart fixtures to clean out rust and obstructions. This is for your information.



6.1 Item 4(Picture)

- 🔍 (5) The shower pan was a "curbless shower." This type of pan offers great access without a curb to potentially trip over however you should be aware that the waterproof membrane, under the tiles usually comes to the edge of the pan. You should be careful to avoid excess water outside to shower threshold to avoid damage to the wood frame in the flooring system.

Refer to this post for more information: <https://www.youtube.com/watch?v=iSd7sOWyv8I&t=4s>

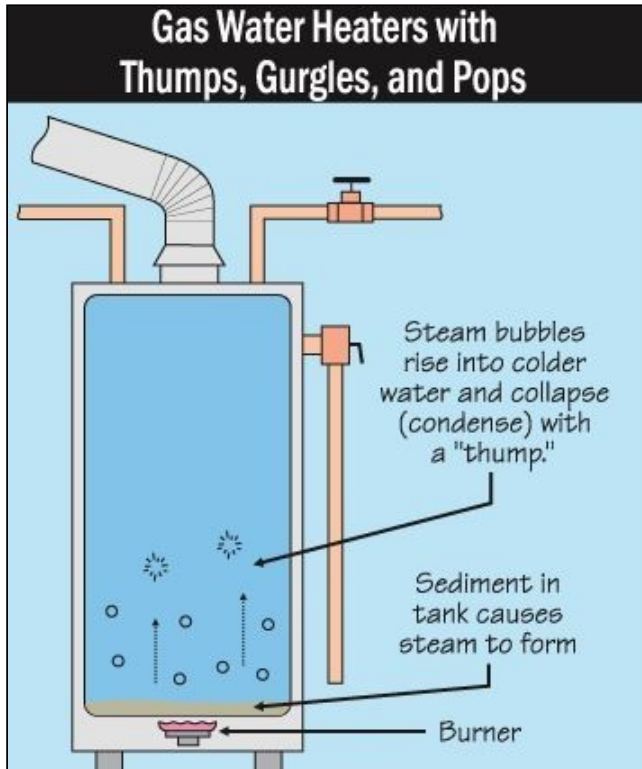


6.1 Item 5(Picture)

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected, Repair or Replace

- 🔧 (1) The water heater bubbled and popped while heating. This suggests a sediment build-up at the bottom. I recommend a licensed plumber inspect further and repair as necessary.



6.2 Item 1(Picture)



6.2 Item 2(Video)

- 🔧 (2) The water heater appears to be at least 10 years old. In general water heaters last 10 to 15 years. Although no current leakage could be noted you should be ready for replacement.

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut off was located outside in the ground.



6.3 Item 1(Picture)

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

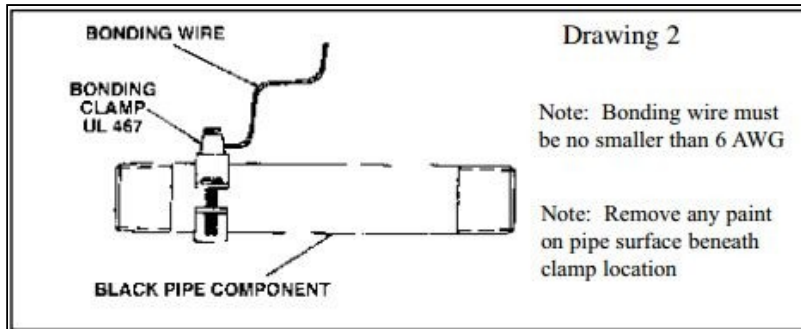
Comments: Inspected, Repair or Replace

- ✎ The corrugated stainless steel tubing did not appear to be properly bonded to the building's electrical ground/bond system. Direct bonding is required for all corrugated stainless steel tubing gas piping systems. Proper bonding and grounding with a #6 copper wire will reduce the possibility of failure and fire due to lightning strikes. **This issue is a manufacturers requirement which supersedes local building codes.**

Refer to page 28 and 29 in the "Pro-Flex" manual: <http://test.proflexcsst.com/wp-content/uploads/2012/06/v16-Pro-Flex-Training-Installation-Guide.pdf>

Some history on this type of piping: http://www.lightning.org/wp-content/uploads/2012/10/09_Presentation-Morgan-CSSTs.pdf

And example video: http://www.youtube.com/watch?feature=player_embedded&v=4Op_TF7tgzg



6.4 Item 1(Picture)

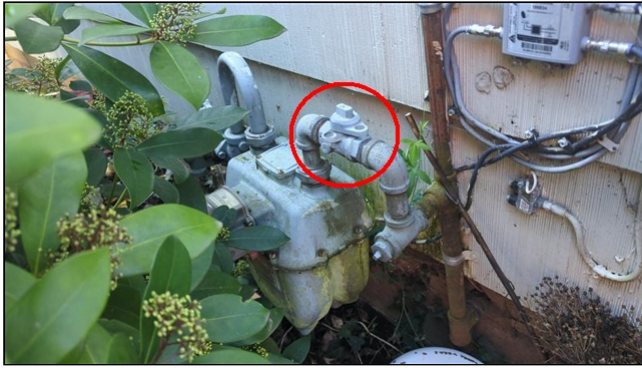


6.4 Item 2(Picture)

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside



6.5 Item 1(Picture)

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.



These are normal temperatures under load

Styles & Materials

Electrical Service Conductors:

Overhead service
Copper
240 volts

Panel capacity:

125 AMP

Electric Panel Manufacturer:

SIEMENS

Panel Type:

Sub Panel Manufacturer:

Branch wire 15 and 20 AMP:

Circuit breakers

None

Copper

Wiring Methods:

Non Metallic sheathed Cable

Inspection Items

7.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

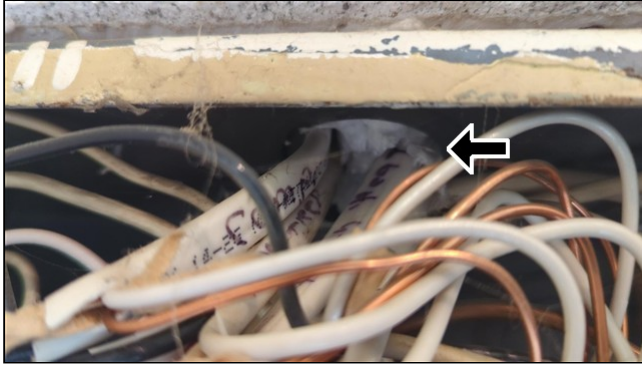
Comments: Inspected, Repair or Replace

(1) Screw(s) missing from the sub panel/splice box cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.



7.1 Item 1(Picture)

- 🔧 (2) Missing romex connector(s) in the sub panel/splice box. Romex connectors bind the wires and prevent chaffing on the edge of the sheet metal panel. A qualified licensed electrician should perform repairs that involve wiring.

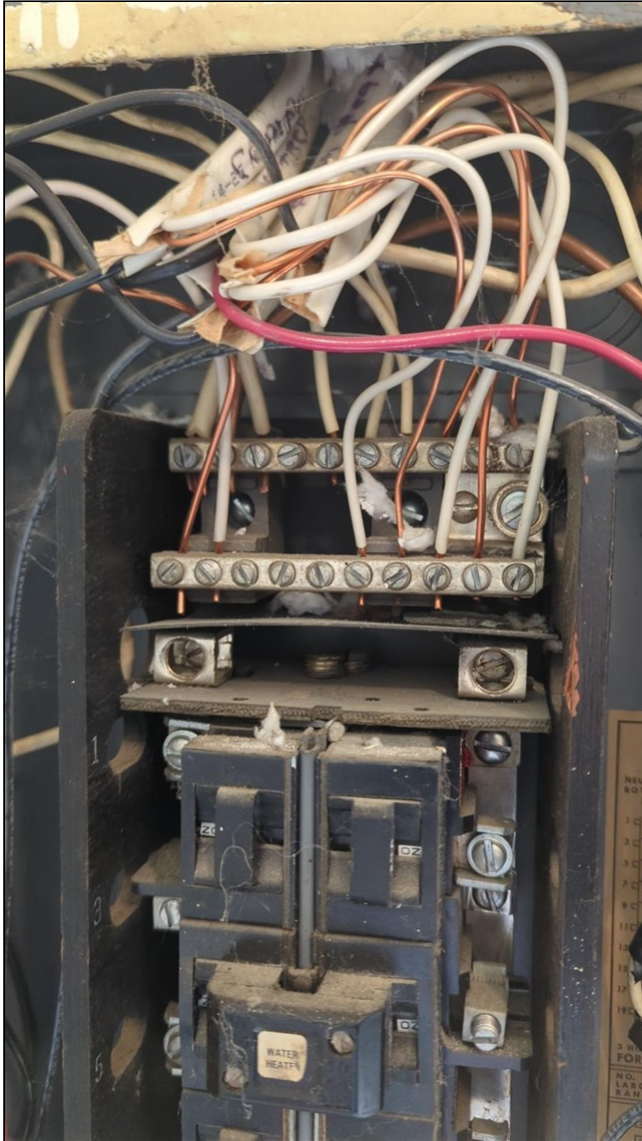


7.1 Item 2(Picture)

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected, Repair or Replace

- ✎ Sub panel/splice box did not have properly isolated neutral and ground bars should be corrected. I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 1(Picture)

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

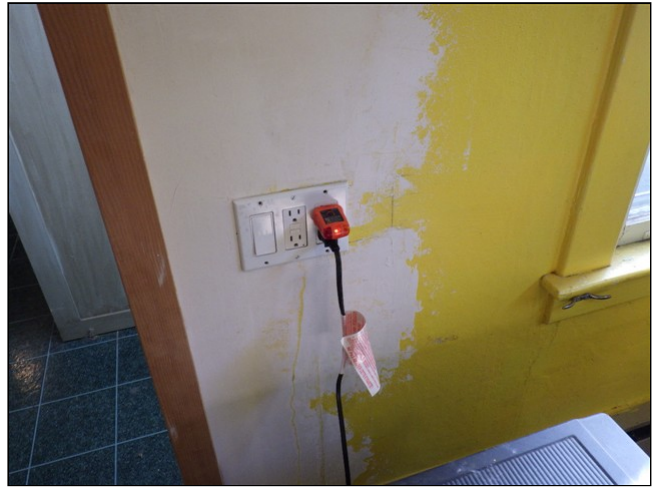
Comments: Inspected, Repair or Replace

- 🔧 (1) The "three-prong" outlets were not grounded throughout the building and garage. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should correct as needed.

More information here: <http://salemoregonhomeinspector.com/2011/08/08/grounded-outlets-gfcis-seatbelts-and-airbags/>



7.3 Item 1(Picture)



7.3 Item 2(Picture)

- 🔧 (2) The wall switch was missing at the living room. A light source should be able to be controlled when entering a room. A qualified licensed electrician should perform repairs that involve wiring.



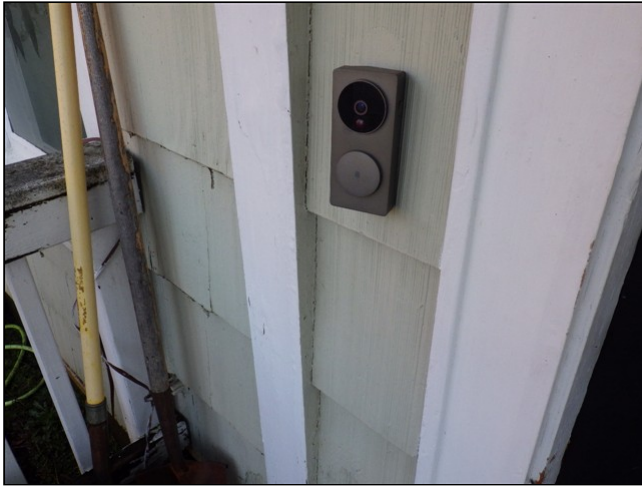
7.3 Item 3(Picture)

- 🔧 (3) Improperly secured wiring splice in the crawlspace. This is for your information. I recommend repair as needed.



7.3 Item 4(Picture)

- 🔧 (4) Doorbell did not function. This should be repaired as desired.



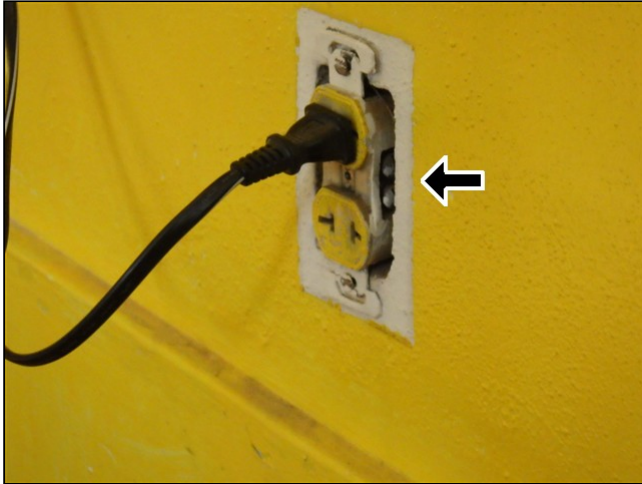
7.3 Item 5(Picture)

- 🔧 (5) Exposed wiring on wall near the water heater. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 6(Picture)

- 🔧 (6) The "two-prong" outlet was missing cover-plate in the bedroom. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 7(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected, Repair or Replace

- 🔧 (1) The outlet at the garage was clogged. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.4 Item 1(Picture)



7.4 Item 2(Picture)

- 🔧 (2) The outlet at the kitchen (right of sink) was loose in the wall. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.4 Item 3(Picture)

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

- 🔧 The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

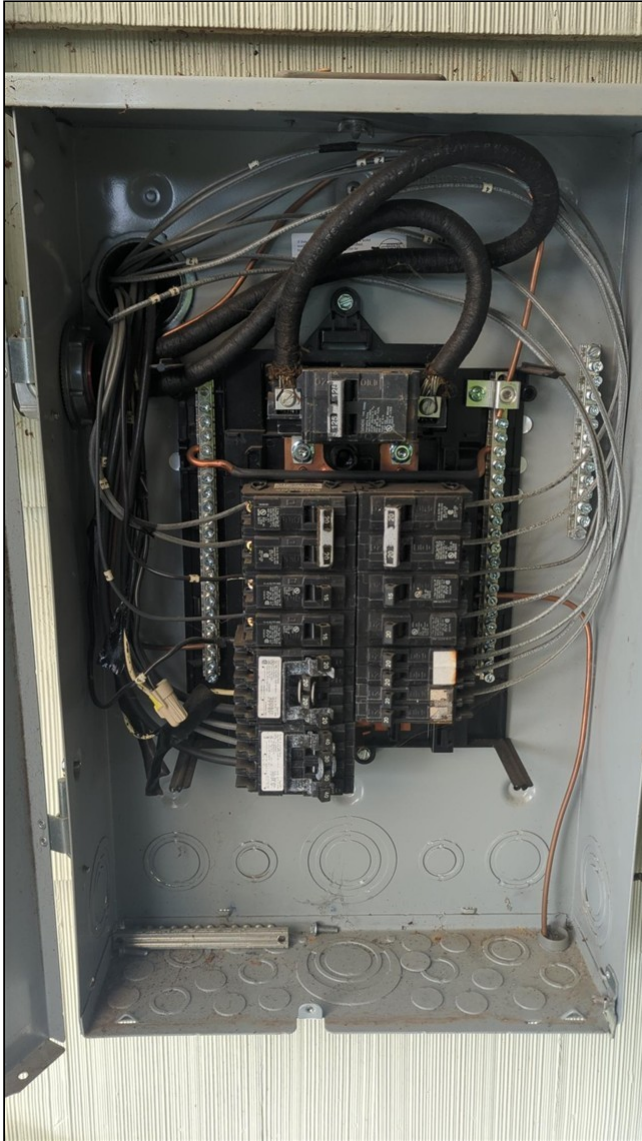


7.5 Item 1(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The distribution box (sub panel) was located at the laundry room. However, the main disconnect (shut-off) was outside at meter base panel (for your information).



7.6 Item 1(Picture)

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

- 🔧 The smoke detectors are older than 10 years throughout the home. Smoke detectors that are 10 years or older should be replaced with modern units equipped with a hush feature and if they are an ionization type they need a 10 year ultralife battery. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: ([ORS 479.260](#))

Oregon law regarding smoke alarms - ORS 479.250 to 479.300
(This is a summary and not a substitute for reading the entire statute.)

<u>Technical requirements for alarms</u>	<u>Maintenance</u>
ORS 479.297 All ionization smoke alarms sold in Oregon 1) must have a hush feature enabling a person to silence the alarm for a period of not more than fifteen minutes; and,	1) Monthly - test alarm and vacuum to remove dust and cobwebs. 2) Replace alarms ten years old or older because the sensor wears out. Look for the date stamp on the back of the alarm.

7.7 Item 1(Picture)



7.7 Item 2(Picture)

7.8 CARBON MONOXIDE DETECTORS

Comments: Not Present, Repair or Replace

- 🔧 There was no carbon monoxide detector found in home. It is recommended that one per bedroom or at least one within 15 feet of the bedroom doors be installed according to the manufacturer's instructions. Since April 1st 2011 carbon monoxide alarms have been required when homes are sold.

<http://www.oregon.gov/osp/SFM/Pages/CommedCOProg.aspx>

837-047-0130
Installation and Location of Carbon Monoxide Alarms and Detectors
(1) All carbon monoxide alarms or detectors must be installed in accordance with the manufacturer's recommended instructions and located in accordance with these rules and applicable building code at the time of construction or alteration of the dwelling.

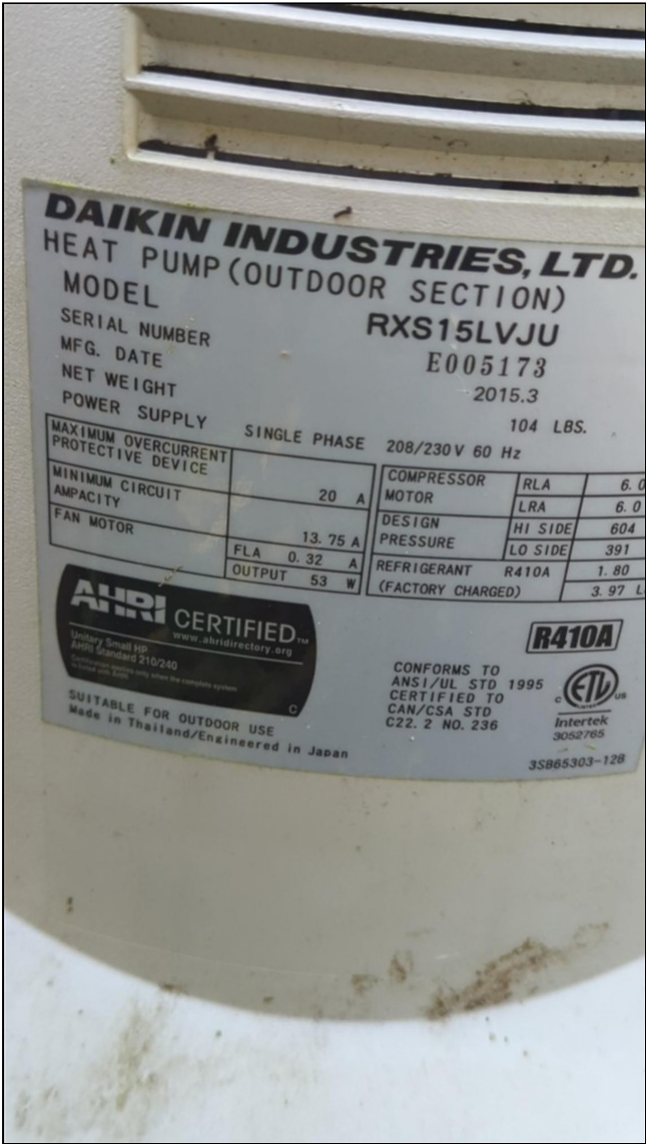
(2) One and Two Family Dwellings and Manufactured Dwellings:
A properly functioning carbon monoxide alarm must be located within each bedroom or within 15 feet outside of each bedroom door. Bedrooms on separate floors in a structure containing two or more stories require separate carbon monoxide alarms.

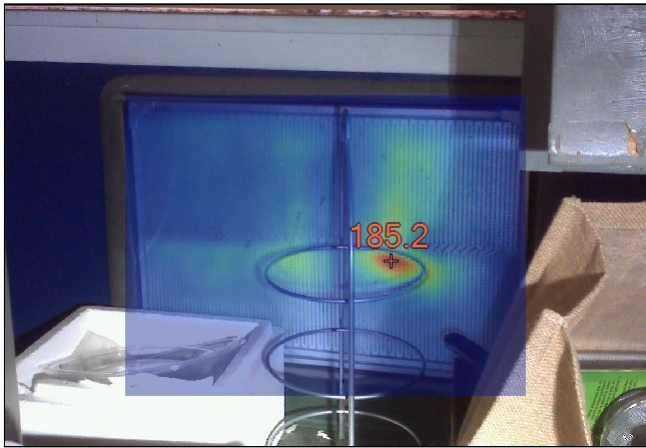
7.8 Item 1(Picture)

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





Kitchen wall heater Normal temperature ranges during operation



Styles & Materials

Heat Type: Electric heat Mini-Split Heat Pump	Energy Source: Electric	Heat System Brand: DAIKIN
Ductwork: N/A	Filter Type: Washable	Types of Fireplaces: Vented gas logs
Number of Installed Woodstoves: None	Cooling Equipment Type: Mini-Split Heat Pump	Cooling Equipment Energy Source: Electricity
Central Air Manufacturer: DAIKIN	Number of AC Only Units: One	Approximate age of Central Air Equipment: 2015

Inspection Items

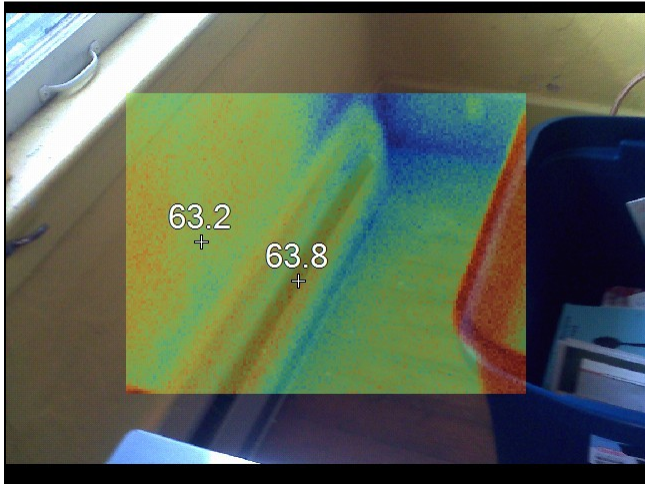
8.0 HEATING EQUIPMENT

- Comments:** Inspected, Repair or Replace
- 🔧

(1) The minisplit compressor did not operate when tested. A more thorough inspection by a qualified contractor is needed. A qualified HVAC person should inspect further and repair or replace as needed.
- 🔧

(2) The wall mounted heater would not turn off when tested in the washer/dryer room. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
- 🔧

(3) The electric baseboard did not operate when tested in the south bedroom. I recommend repair as needed.



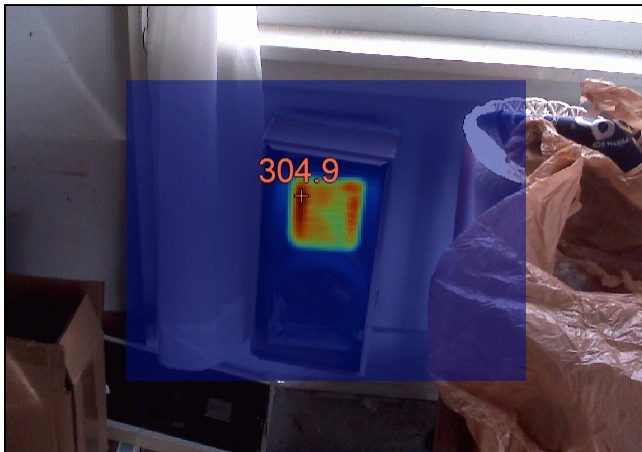
8.0 Item 1(Picture)

- 🔧 (4) The wall mounted heater did not operate when tested in the front corner bedroom. I recommend repair as needed.



8.0 Item 2(Picture)

- 🔍 (5) The electric heaters need to have sufficient space from combustible materials. Window coverings can be prone to damage and should be installed to prevent close contact. This is for your information.



8.0 Item 3(Picture)

8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

8.3 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.4 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.5 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

8.6 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected

8.7 COOLING AND AIR HANDLER EQUIPMENT

- Comments:

Not Inspected, Repair or Replace
- 

The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less.
- 

Testing at low temperatures can damage the unit. We did not inspect this unit(s).

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation: Blown Batt Fiberglass R-30 or better	Ventilation: Roof vents	Exhaust Fans: Fan only
Dryer Power Source: 240 Electric	Dryer Vent: Metal	Floor System Insulation: Batts Fiberglass R-19
Vapor Retarder/Barrier: Black Plastic		

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected, Repair or Replace

The insulation was deteriorated in areas in the crawlspace. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.1 Item 1(Picture)



9.1 Item 2(Picture)

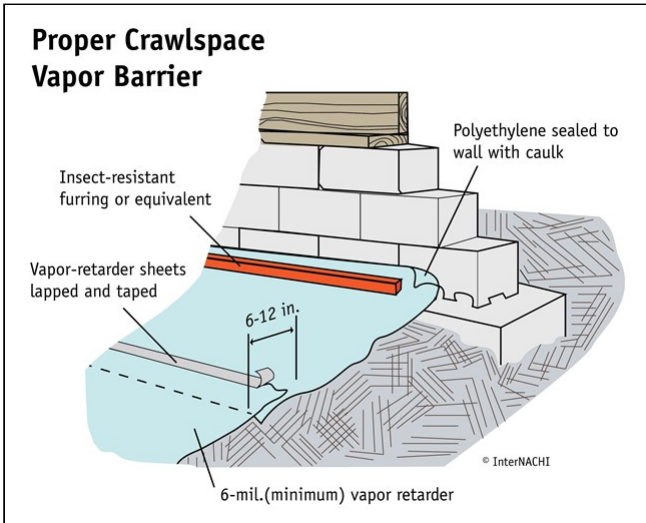


9.1 Item 3(Picture)

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

- 
- The vapor retarder (plastic) on the crawlspace ground deteriorated in areas was deteriorated in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)



9.2 Item 3(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected, Repair or Replace

- (1) One roof vent was missing screen at the rear of the building. A qualified contractor should inspect and repair as needed.



9.3 Item 1(Picture)



9.3 Item 2(Picture)



9.3 Item 3(Picture)

- (2) The foundation has a hole large enough for pests at the right side (facing front from the inside). Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.



9.3 Item 4(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)

Comments: Inspected

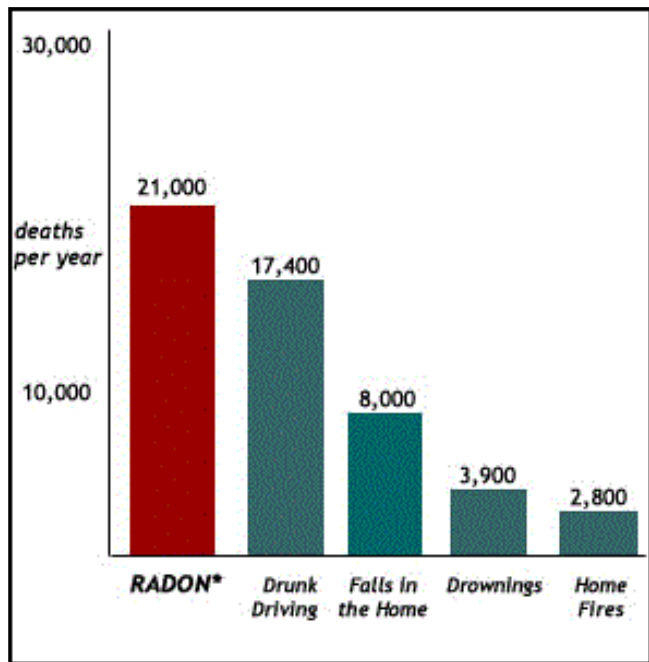
9.5 RADON MITIGATION SYSTEM

Comments: Not Present, Repair or Replace

 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.



Please go here for more information: <http://perfectioninspectioninc.com/radon/>

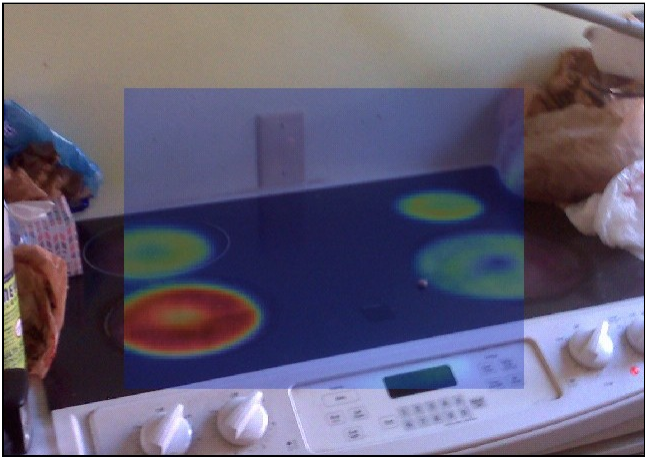


9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Normal temperature ranges during operation

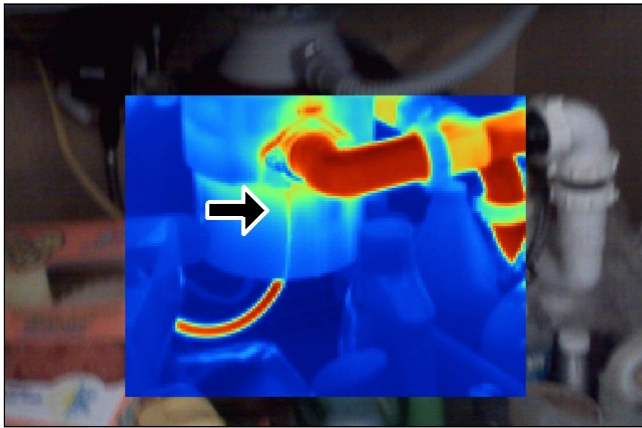
Styles & Materials

Disposer Brand: KITCHEN AID	Installed Dishwasher Brand: LG	Range/Oven/Cooktop: KITCHEN AID
Kitchen Exhaust/Range hood: UNKNOWN BRAND	Built in Microwave: NONE	Trash Compactors: NONE

Inspection Items

10.0 FOOD WASTE DISPOSER
Comments: Inspected, Repair or Replace

 The food disposer was leaking. I recommend repair as needed.



10.0 Item 1(Picture)

10.1 INSTALLED DISHWASHER

Comments: Inspected

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

 The oven door for oven was missing the front trim and glass. I recommend repair as needed.



10.2 Item 1(Picture)

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected, Repair or Replace



The ceiling mounted fan was an exhaust fan designed for bathrooms and moist air not necessarily designed to handle grease. I recommend repair or replace as needed.



10.3 Item 1(Picture)

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Not Present

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

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1160 31st CT

Salem, OR 97304

503.508.4321 Jallhiser@PerfectionInspectionInc.com

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

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