

Perfection[✓] Inspection, Inc

Robert & DeCole Camarillo

**Property Address:
5257 Waconda Rd NE
Salem OR 97305**



6/4/2025

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

**1160 31st CT
Salem, OR 97304
503.508.4321 jallhiser@PerfectionInspectionInc.com**

J. C. President



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Date: 6/4/2025	Time: 09:00 AM	Report ID: 20250604-5257-Waconda-Rd-NE
Property: 5257 Waconda Rd NE Salem OR 97305	Customer: Robert & DeCole Camarillo	Real Estate Professional: Linda Rabe

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

Buildings more than 5 years old may have areas that are not current in code requirements. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists or, it may still need further attention and repair. Determining this can be difficult on a one time inspection and in an occupied building. Sometimes buildings have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this building. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Seller and listing broker	Type of building: Single Family (1 story)
Approximate Year Built: 2011	Temperature: Over 65	Weather: Cloudy
Ground/Soil surface condition: Dry	Rain in last 3 days: No	Radon Test: No

Repair Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

-  (1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

-  (2) The roof covering has areas of damage in areas at the front of the building (refer to pictures). These areas should be monitored for future performance and repaired if necessary.

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

-  (1) One skylight shows repair signs suggesting a leak does or did exist at the rear of the building. No current leakage could be noted. I recommend monitor and repair if needed.
-  (2) The roof had penetrations with the installation of the dish/antennae. No current leakage could be noted however it is recommended that you monitor these penetrations and repair if damage or leakage is observed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

-  (1) Bare trim needs primer and paint at exterior in areas.
-  (2) The cement board siding and wood trim at the rear of the building (refer to picture(s)) was installed improperly or not according to standard workmanlike practices. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-  (3) The hole(s) in siding need to be properly filled/caulked/painted at the front of the building (refer to picture(s)) where the pipes/wires penetrate the building envelope.
-  (4) The vinyl siding at the front of the building (refer to picture(s)) was damaged. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.

2.1 DOORS (Exterior)

Inspected, Repair or Replace

-  (1) The rear entry door has deteriorated at trim (exterior). This should be repaired/replaced. A qualified contractor should inspect and repair as needed.
-  (2) The rear entry door did not latch properly. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

2.2 WINDOWS

Inspected, Repair or Replace

-  The window was unusually installed at rear of the building. Deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Inspected, Repair or Replace

-  (1) The stone tile at the front steps was delaminating and failing. This should be repaired as necessary.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

-  (1) The roof sheathing at eave on the exterior in areas (refer to picture(s)) shows evidence of moisture absorption. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.
-  (2) The exposed eave needs primer and paint at the exterior.
-  (3) The rake rafters on the roof slope show signs of deterioration. These should be repaired to prevent further damage to related components.

2.6 OTHER

Inspected, Repair or Replace

-  Evidence of pest activity noted in the crawlspace and attic. Some evidence is not unusual, however you should consider a pest control consultation regarding the control of their entry into the building. Pests should be excluded from these areas.

3. Garage

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Inspected, Repair or Replace

-  The door between the home and the garage should have new weather stripping installed.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace

-  The garage door at the front of the building had the manual lock in place with the power opener. The lock can cause significant damage if it is engaged and the door opener is operated. A qualified person should remove or disable the manual lock.

4. Interiors

4.0 CEILINGS

Inspected, Normal Routine Maintenance Item

  The drywall on the ceiling has some "nail pops." This damage is not unusual. A qualified person should repair or replace as needed.

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  (1) The closet door was missing the center retaining strip at the bottom. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.
-  (2) The entry door was damaged by pet at the front corner bedroom. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.
-  (3) The closet door was missing at the master bath. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  (1) Some windows were cloudy (moisture trapped between the panes). In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.
-  (2) One window was cracked at glass pane at the rear of the building. This should be repaired. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

 The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.

5.4 FLOORS (Structural)

Inspected, Repair or Replace

 Two floor joist(s) were cut and damaged under the hall bath shower and master bath tub. A proper support is needed where joist(s) are cut. A qualified licensed structural contractor/engineer who is familiar with engineered I-beam floor joists should inspect further and repair as needed.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

  Water stains were on the roofing structure above the rear bedroom. Due to lack of recent rains I was unable to determine if leak has been corrected. It is recommend to further investigate, repair if necessary and monitor after a heavy rain and repair if needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Monitor

-  (1) The toilet was loose and leaked at floor at the hall bath. Repairs should involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.
-  (2) The shower drains leaked in the crawlspace under the master bath and under the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

-  (3) The plumbing waste line leaked at the hall bath sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (4) The p-trap on waste line waste line showed evidence of past leakage at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) The shower door was missing handles and was difficult to operate at the hall bath. Repairs are needed A qualified, licensed professional contractor should repair as necessary.
-  (2) The spray nozzle button was damaged at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (3) The bathtub in the master bathroom was not tested due to storage. This unit should be tested as necessary.
-  (4) The sink faucets were loose at the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace

-  The T&P (Temperature and Pressure) relief valve on water heater needs a 3/4" pipe to extend within 6 inches of floor for safety. I recommend repair by a licensed professional plumbing contractor.



7. Electrical System

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Inspected

-  (1) Screw(s) missing from the main panel cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.
-  (2) Missing romex connector in the AC switch box. Romex connectors bind the wires and prevent chaffing on the edge of the sheet metal panel. A qualified licensed electrician should perform repairs that involve wiring.

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Not Inspected, Repair or Replace

-  (1) Several circuit breakers in sub panel were of a different brand than panel manufacturer. The manufacturer requires that in order for the panel to be safe, only their brand is allowed to be used inside the panel. Even though these circuit breakers are all "UL approved," they are not approved to be used in panels of different manufacturers unless so indicated on the panel label.
-  (2) Sub panel did not have properly isolated neutral and ground bars and should be corrected. I recommend a licensed electrician inspect further and correct as needed.
-  (3) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.
-  (4) Double tap (where two wires share a breaker designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-  (1) Outlets and wall switches were missing cover plates due to painting/repairs. These should be

replaced when the painting/repairs are complete.

- 🔧 (2) Exposed wiring on wall in the rear sun room. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.

7.7 SMOKE DETECTORS

Inspected, Repair or Replace

- 🔧 The smoke detector(s) in the bedrooms were older than 10 years and were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

8. Heating / Central Air Conditioning

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

- 🔧 📄 The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Inspected, Repair or Replace

- 🔧 Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

- 🔧 The vapor retarder (plastic) on the crawlspace ground had been cut and damaged throughout the crawlspace. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Inspected, Repair or Replace

- 🔧 The foundation has a hole large enough for pests at the front and side of the building. Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.

9.4 VENTING SYSTEMS (Baths and laundry)

Inspected, Repair or Replace

- 🔧 The dryer vent piping had a damaged vent hood outside. Damaged piping can cause an obstruction of lint that has a possibility to create a fire hazard. I recommend repair as needed.

9.5 ATTIC VENTILATION FANS

Not Inspected, Repair or Replace

- 🔧 The attic fan should be disabled as the energy it uses and the significant pressure differences it creates are not worth the few degrees of temperature difference in the attic. Thorough air sealing between the building and attic should be done instead of power attic ventilation.

Please refer to this post for more information: <https://www.energyvanguard.com/blog/75600/The-1-Reason-Power-Attic-Ventilators-Don-t-Help>

10. Built-In Kitchen Appliances

10.1 INSTALLED DISHWASHER

Inspected, Repair or Replace



The dishwasher drain hose did not perform a high loop to create a trap under sink. This condition can lead to food particles entering the drain line and may create odors. I recommend repair as necessary.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Safety Issues

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The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

6. Plumbing System

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace



The T&P (Temperature and Pressure) relief valve on water heater needs a 3/4" pipe to extend within 6 inches of floor for safety. I recommend repair by a licensed professional plumbing contractor.

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Monitor

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The following items or discoveries indicate that these systems or components that **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

-  (2) The roof had penetrations with the installation of the dish/antennae. No current leakage could be noted however it is recommended that you monitor these penetrations and repair if damage or leakage is observed.

5. Structural Components

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

-  Water stains were on the roofing structure above the rear bedroom. Due to lack of recent rains I was unable to determine if leak has been corrected. It is recommend to further investigate, repair if necessary and monitor after a heavy rain and repair if needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Monitor

-  (5) This inspection did not access the septic tank or determine its location. For a more detailed inspection, I recommend you contact a septic pumping company and have them empty the tank. At that time the tank could be inspected for proper functioning. **Then the leach field should be scoped or camera inspected to determine its functionality and exact position.**

- 🔍 (6) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

- 🔍 (5) The refrigerator ice/water supply line could not observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

9. Insulation and Ventilation

9.6 RADON MITIGATION SYSTEM

Not Present

- 🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

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Normal Routine Maintenance

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The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Repair or Replace

 (1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

4. Interiors

4.0 CEILINGS

Inspected, Normal Routine Maintenance Item

 The drywall on the ceiling has some "nail pops." This damage is not unusual. A qualified person should repair or replace as needed.

8. Heating / Central Air Conditioning

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

 The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two

months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

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Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): Curb Style
Chimney (exterior): N/A		

Inspection Items

1.0 ROOF COVERINGS

Comments: Inspected, Repair or Replace



(1) Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>



1.0 Item 1(Picture)

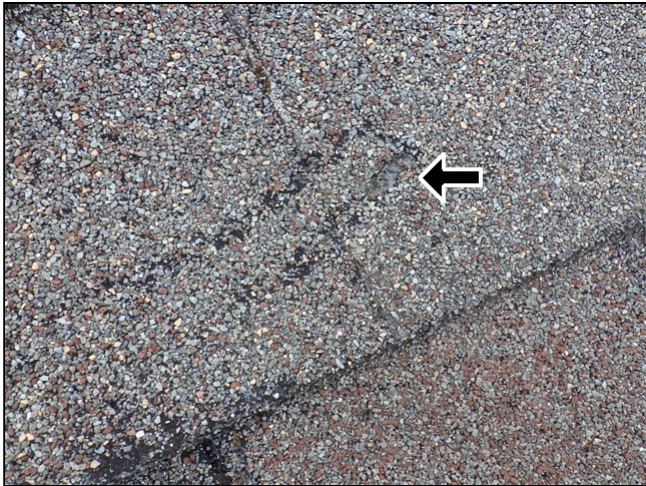
(2) The roof covering has areas of damage in areas at the front of the building (refer to pictures). These areas should be monitored for future performance and repaired if necessary.



1.0 Item 2(Picture)



1.0 Item 3(Picture)



1.0 Item 4(Picture)



1.0 Item 5(Picture)



1.0 Item 6(Picture)



1.0 Item 7(Picture)

- 1.1 FLASHINGS
- Comments: Inspected
- 1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS
- Comments: Inspected, Repair or Replace

(1) One skylight shows repair signs suggesting a leak does or did exist at the rear of the building. No current leakage could be noted. I recommend monitor and repair if needed.



1.2 Item 1(Picture)



1.2 Item 2(Picture)



1.2 Item 3(Picture)



1.2 Item 4(Picture)

(2) The roof had penetrations with the installation of the dish/antennae. No current leakage could be noted however it is recommended that you monitor these penetrations and repair if damage or leakage is observed.



1.2 Item 5(Picture)

1.3 ROOF DRAINAGE SYSTEMS
Comments: Inspected

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Vinyl	Composite
	Cement-Fiber	
Driveway:	Retaining wall that Affects the Building:	
Concrete	None	
Gravel		

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

 (1) Bare trim needs primer and paint at exterior in areas.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

🔧 (2) The cement board siding and wood trim at the rear of the building (refer to picture(s)) was installed improperly or not according to standard workmanlike practices. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 4(Picture)



2.0 Item 5(Picture)

- 🔧 (3) The hole(s) in siding need to be properly filled/caulked/painted at the front of the building (refer to picture(s)) where the pipes/wires penetrate the building envelope.



2.0 Item 6(Picture)

- 🔧 (4) The vinyl siding at the front of the building (refer to picture(s)) was damaged. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 7(Picture)

2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

- 🔧 (1) The rear entry door has deteriorated at trim (exterior). This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



2.1 Item 1(Picture)

- 🔧 (2) The rear entry door did not latch properly. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



2.1 Item 2(Picture)

2.2 WINDOWS

Comments: Inspected, Repair or Replace

- The window was unusually installed at rear of the building. Deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.



2.2 Item 1(Picture)



2.2 Item 2(Picture)

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected, Repair or Replace

- (1) The stone tile at the front steps was delaminating and failing. This should be repaired as necessary.



2.3 Item 1(Picture)



2.3 Item 2(Picture)

- (2) The hand/guard rail for the stairs was missing. A qualified contractor should repair or replace as needed.

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

🔧 (1) The roof sheathing at eave on the exterior in areas (refer to picture(s)) shows evidence of moisture absorption. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.



2.5 Item 1(Picture)



2.5 Item 2(Picture)



2.5 Item 3(Picture)



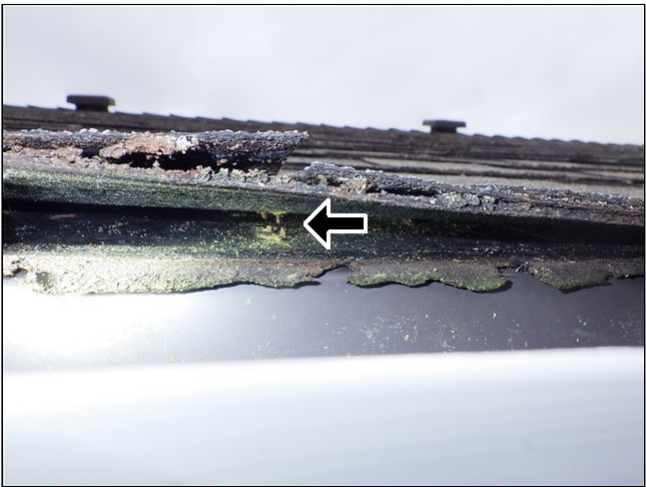
2.5 Item 4(Picture)



2.5 Item 5(Picture)



2.5 Item 6(Picture)



2.5 Item 7(Picture)

🔧 (2) The exposed eave needs primer and paint at the exterior.



2.5 Item 8(Picture)

🔧 (3) The rake rafters on the roof slope show signs of deterioration. These should be repaired to prevent further damage to related components.



2.5 Item 9(Picture)



2.5 Item 10(Picture)

2.6 OTHER

Comments: Inspected, Repair or Replace

- 🔧 Evidence of pest activity noted in the crawlspace and attic. Some evidence is not unusual, however you should consider a pest control consultation regarding the control of their entry into the building. Pests should be excluded from these areas.



2.6 Item 1(Picture)



2.6 Item 2(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



Styles & Materials

Garage Door Type: One automatic	Garage Door Material: Metal	Auto-opener Manufacturer: GENIE
Did the Garage Door Opener Reverse when met with Resistance?: Yes		

Inspection Items

- 3.0 GARAGE CEILINGS
Comments: Inspected
- 3.1 GARAGE WALLS
Comments: Inspected
- 3.2 GARAGE FLOOR
Comments: Inspected
- 3.3 GARAGE DOOR (S)
Comments: Inspected
- 3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING
Comments: Inspected, Repair or Replace

- 🔧 The door between the home and the garage should have new weather stripping installed.



3.4 Item 1(Picture)

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

- 🔧 The garage door at the front of the building had the manual lock in place with the power opener. The lock can cause significant damage if it is engaged and the door opener is operated. A qualified person should remove or disable the manual lock.



3.5 Item 1(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Vinyl Carpet
Interior Doors: Hollow core	Window Types: Thermal/Insulated Sliders Vinyl Frame	Window Manufacturer: MILGARD
Cabinetry: Wood	Countertop: Fiberglass Laminate	

Inspection Items

4.0 CEILINGS

Comments: Inspected, Normal Routine Maintenace Item

🏠 The drywall on the ceiling has some "nail pops." This damage is not unusual. A qualified person should repair or replace as needed.



4.0 Item 1(Picture)

4.1 WALLS

Comments: Inspected

4.2 FLOORS

Comments: Inspected

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 (1) The closet door was missing the center retaining strip at the bottom. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.



4.5 Item 1(Picture)



4.5 Item 2(Picture)

- 🔧 (2) The entry door was damaged by pet at the front corner bedroom. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



4.5 Item 3(Picture)

- 🔧 (3) The closet door was missing at the master bath. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



4.5 Item 4(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 (1) Some windows were cloudy (moisture trapped between the panes). In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.



4.6 Item 1(Picture) front corner bedroom



4.6 Item 2(Picture) rear corner bedroom



4.6 Item 3(Picture) kitchen

- 🔧 (2) One window was cracked at glass pane at the rear of the building. This should be repaired. A qualified contractor should inspect and repair as needed.



4.6 Item 4(Picture)

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure



Normal structure



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe Crawlspace: Crawled	Floor Structure: Engineered floor joists
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Engineered wood trusses
Roof-Type: Gable	Method used to observe attic: From entry	

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Repair or Replace

- ✎ The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)

5.1 CRAWLSPACE MOISTURE

Comments: Inspected

5.2 WALLS (Structural)

Comments: Inspected

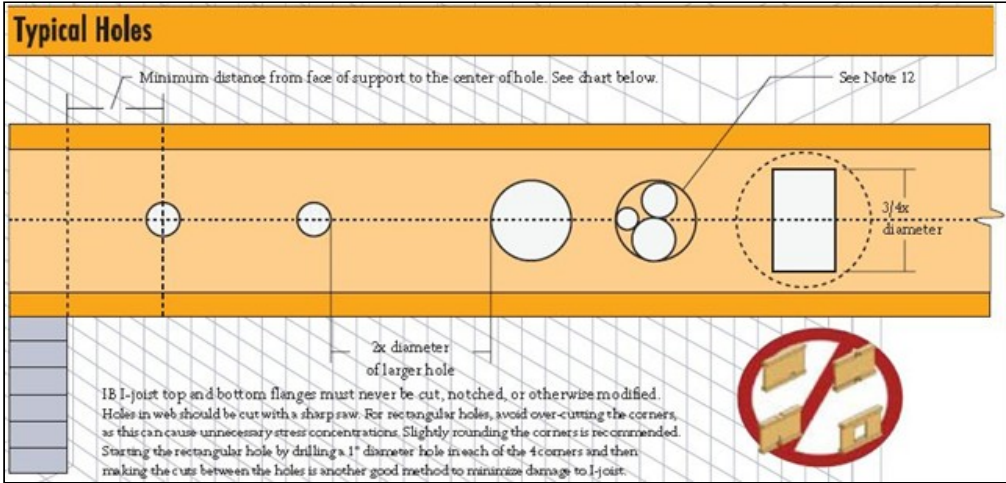
5.3 COLUMNS OR PIERS

Comments: Inspected

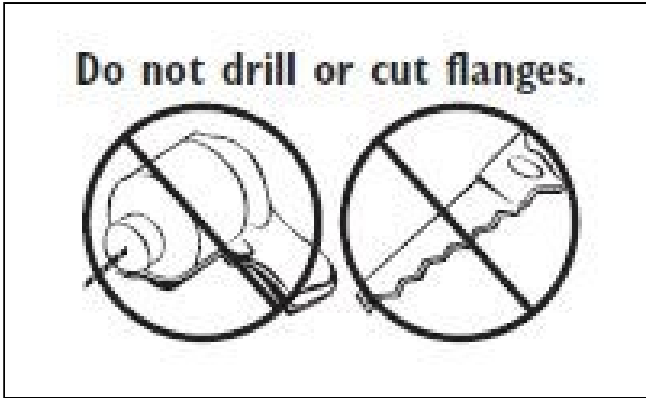
5.4 FLOORS (Structural)

Comments: Inspected, Repair or Replace

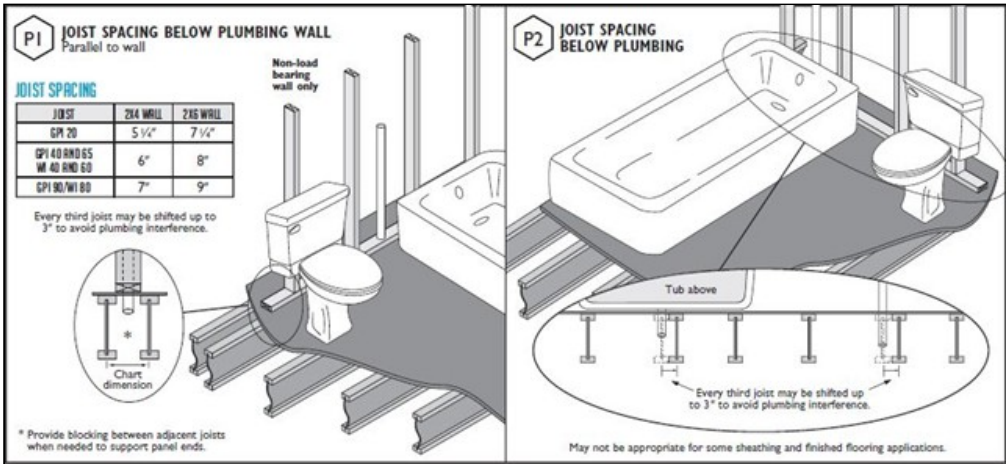
Two floor joist(s) were cut and damaged under the hall bath shower and master bath tub. A proper support is needed where joist(s) are cut. A qualified licensed structural contractor/engineer who is familiar with engineered I-beam floor joists should inspect further and repair as needed.



5.4 Item 1(Picture)



5.4 Item 2(Picture)



5.4 Item 3(Picture)



5.4 Item 4(Picture)



5.4 Item 5(Picture)



5.4 Item 6(Picture)



5.4 Item 7(Picture)

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Repair or Replace

🔍 Water stains were on the roofing structure above the rear bedroom. Due to lack of recent rains I was unable to determine if leak has been corrected. It is recommend to further investigate, repair if

necessary and monitor after a heavy rain and repair if needed.



5.6 Item 1(Picture)



5.6 Item 2(Picture)

5.7 WOOD DESTROYING ORGANISMS

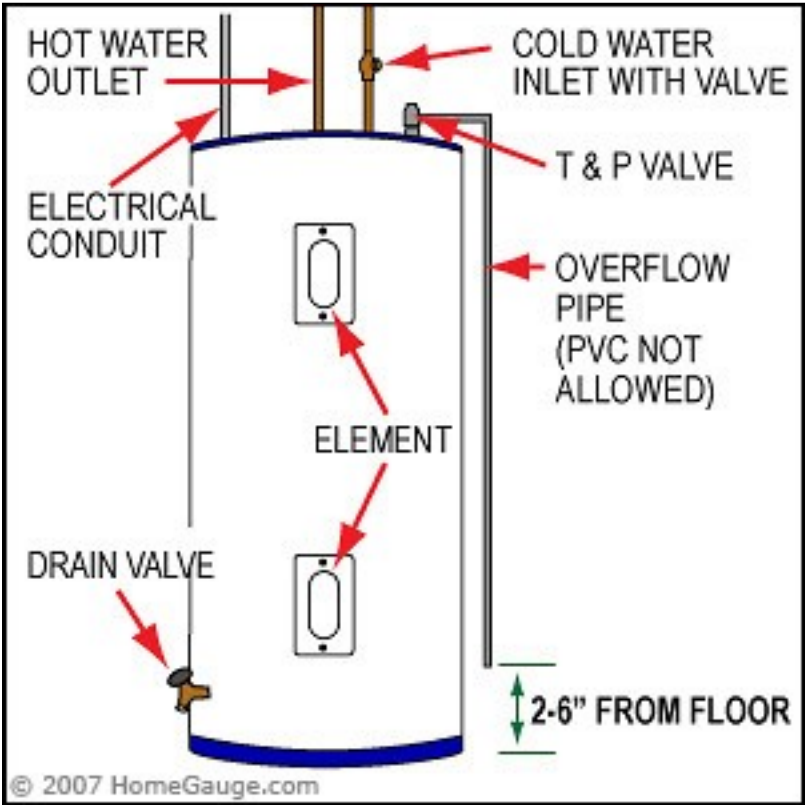
Comments: Inspected

No activity could be observed at the time of the inspection.

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.



Styles & Materials

Water Source: Well	Plumbing Water Supply (into building): PEX (Cross-linked Polyethylene)	Plumbing Water Distribution (inside building): PEX (Cross-Linked Polyethylene)
Washer Drain Size: 2" Diameter	Plumbing Waste/Vent: ABS	Water Heater Power Source: Electric
Water Heater Capacity: 50 Gallon (2-3 Bathrooms)		

Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Comments: Inspected, Monitor

🔧 (1) The toilet was loose and leaked at floor at the hall bath. Repairs should involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.



6.0 Item 1(Picture)



6.0 Item 2(Picture) Moisture meter confirming current leakage.



6.0 Item 3(Picture)



6.0 Item 4(Picture)

- 🔧 (2) The shower drains leaked in the crawlspace under the master bath and under the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 5(Picture)



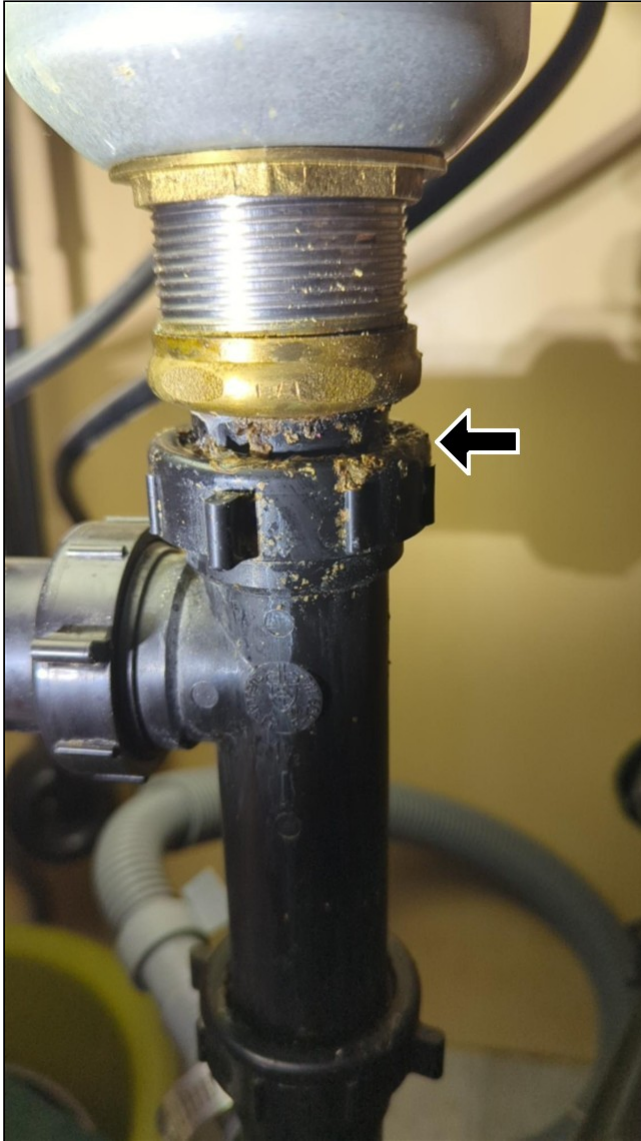
6.0 Item 6(Picture)

- 🔧 (3) The plumbing waste line leaked at the hall bath sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

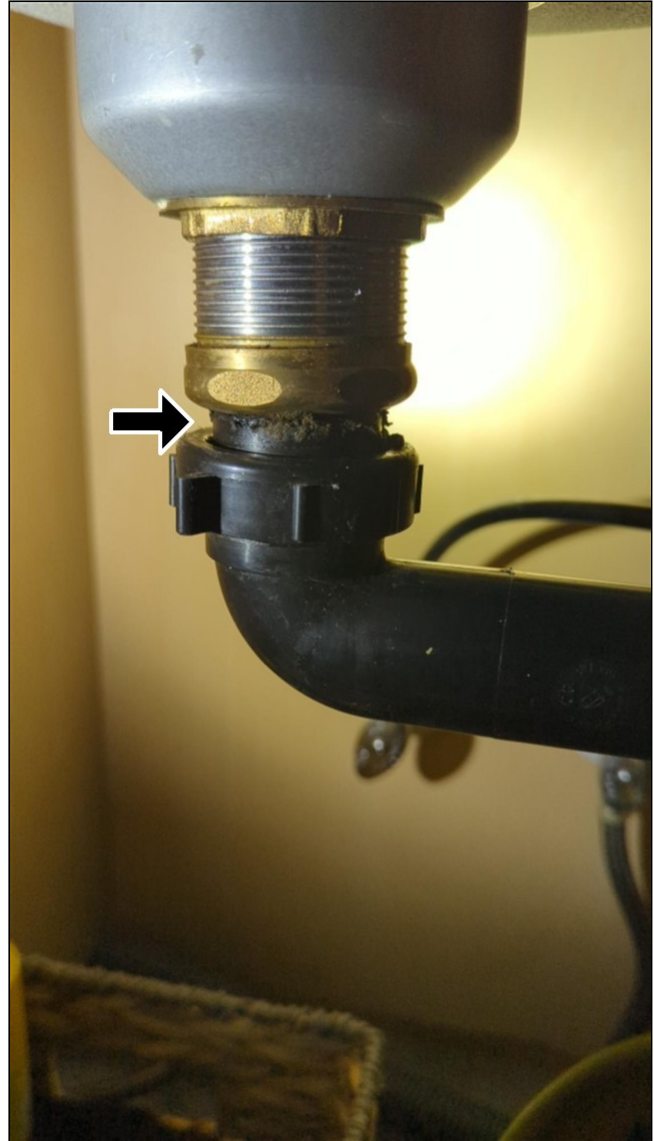


6.0 Item 7(Picture)

- 🔧 (4) The p-trap on waste line waste line showed evidence of past leakage at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 8(Picture)



6.0 Item 9(Picture)

- 🔍 (5) This inspection did not access the septic tank or determine its location. For a more detailed inspection, I recommend you contact a septic pumping company and have them empty the tank. At that time the tank could be inspected for proper functioning. **Then the leach field should be scoped or camera inspected to determine its functionality and exact position.**



6.0 Item 10(Picture)

- 🔍 (6) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.



6.0 Item 11(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The shower door was missing handles and was difficult to operate at the hall bath. Repairs are needed A qualified, licensed professional contractor should repair as necessary.



6.1 Item 1(Picture)

- 🔧 (2) The spray nozzle button was damaged at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 2(Picture)

- 🔧 (3) The bathtub in the master bathroom was not tested due to storage. This unit should be tested as necessary.



6.1 Item 3(Picture)

- 🔧 (4) The sink faucets were loose at the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 4(Picture)

- 🔍 (5) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected, Repair or Replace

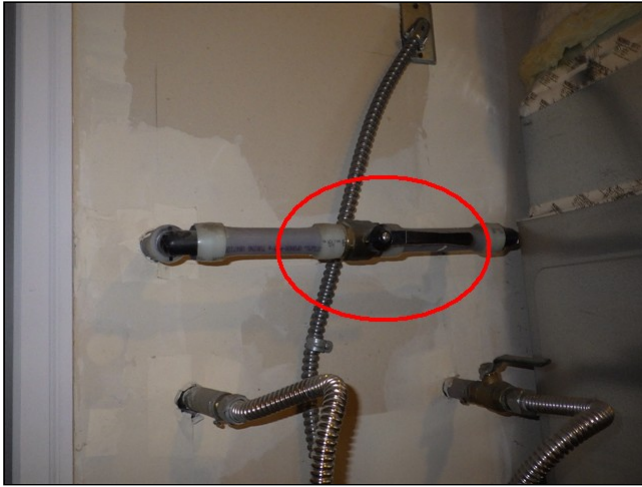
- 🔧 The T&P (Temperature and Pressure) relief valve on water heater needs a 3/4" pipe to extend within 6 inches of floor for safety. I recommend repair by a licensed professional plumbing contractor.



6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut off was located in the garage above the water heater.



6.3 Item 1(Picture)

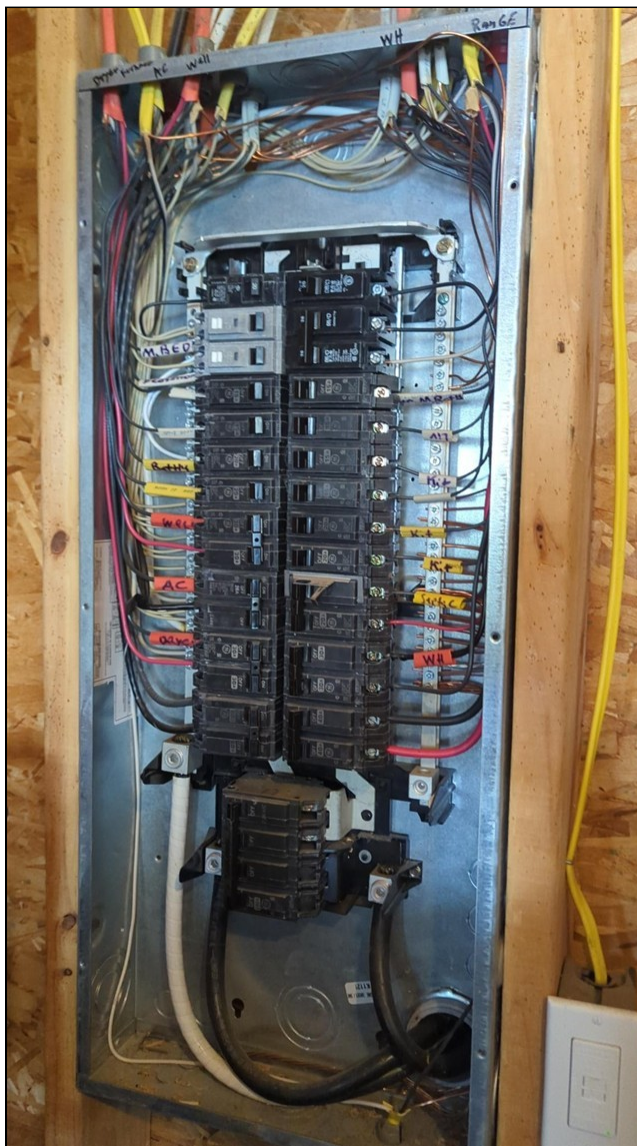
6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

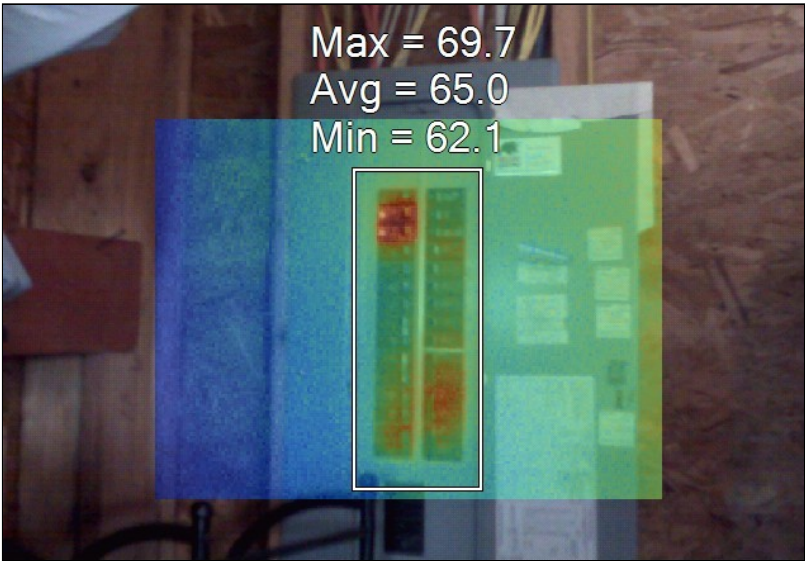
Comments: Not Present

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

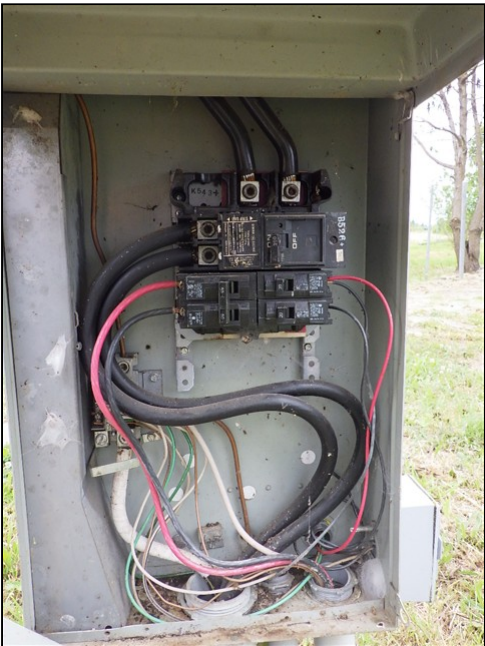
7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load



Styles & Materials

Electrical Service Conductors: Below ground Aluminum 240 volts	Panel capacity: 200 AMP	Electric Panel Manufacturer: MIDWEST
Panel Type: Circuit breakers	Sub Panel Manufacturer: GENERAL ELECTRIC	Sub Panel Capacity: 200 AMPS
Branch wire 15 and 20 AMP: Copper	Wiring Methods: Romex	

Inspection Items

7.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

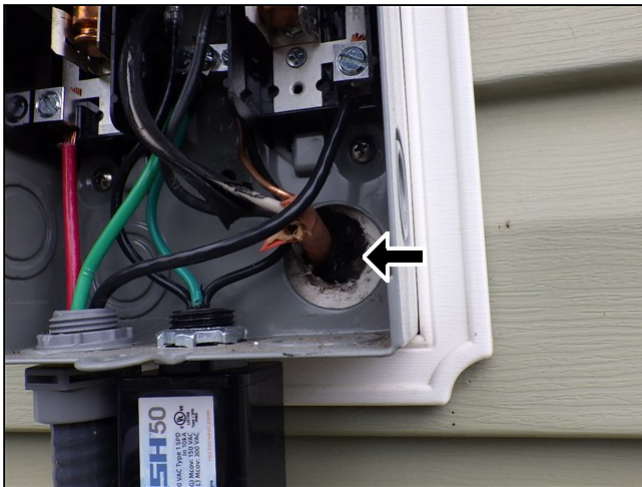
Comments: Inspected

- 🔧 (1) Screw(s) missing from the main panel cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.



7.1 Item 1(Picture)

- 🔧 (2) Missing romex connector in the AC switch box. Romex connectors bind the wires and prevent chaffing on the edge of the sheet metal panel. A qualified licensed electrician should perform repairs that involve wiring.

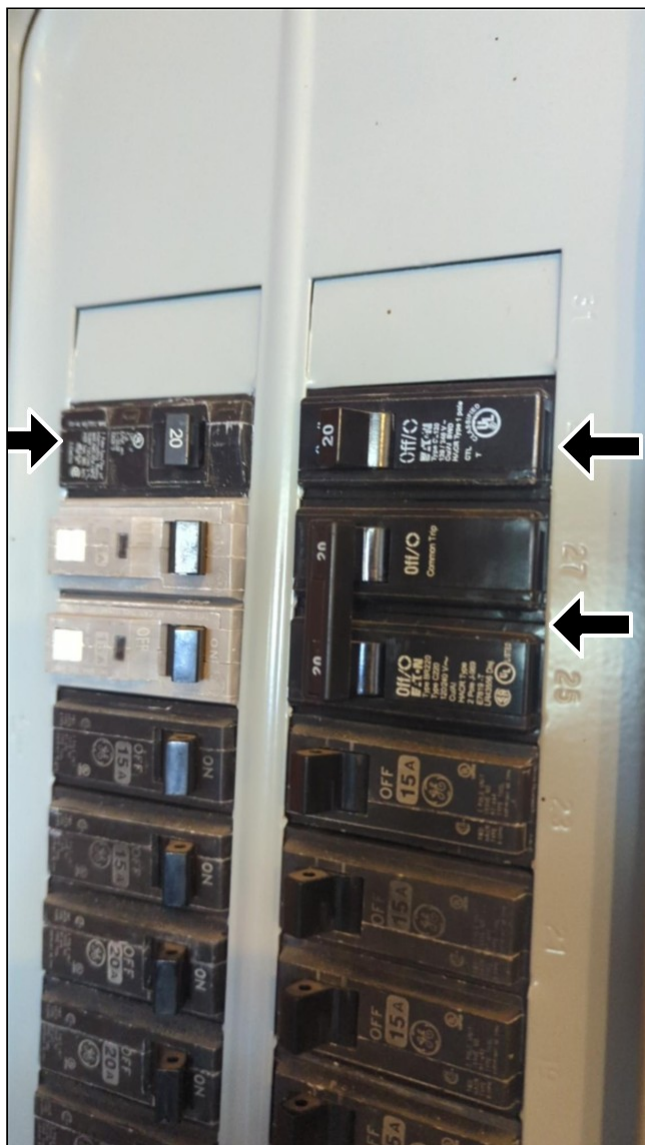


7.1 Item 2(Picture)

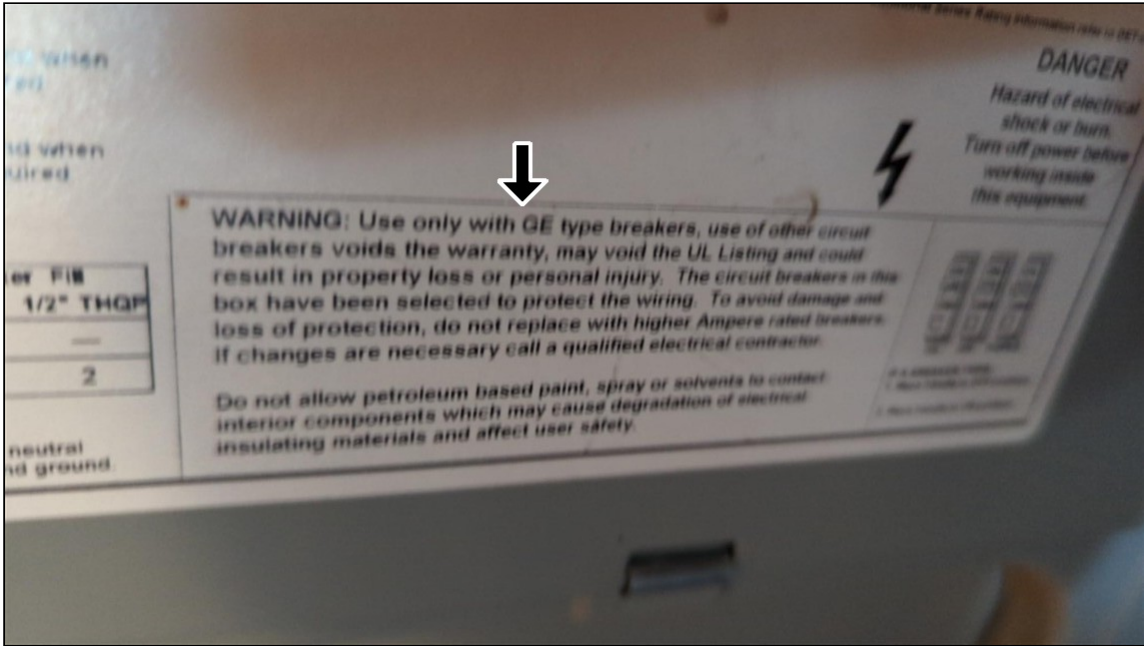
7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected, Not Inspected, Repair or Replace

- ✎ (1) Several circuit breakers in sub panel were of a different brand than panel manufacturer. The manufacturer requires that in order for the panel to be safe, only their brand is allowed to be used inside the panel. Even though these circuit breakers are all "UL approved," they are not approved to be used in panels of different manufacturers unless so indicated on the panel label.

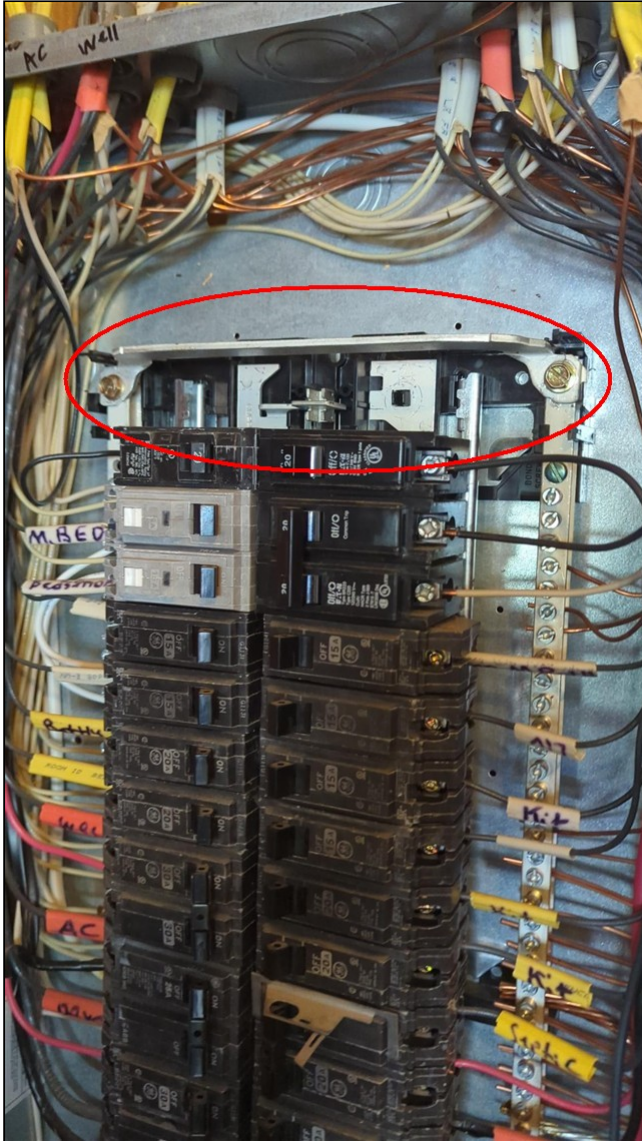


7.2 Item 1(Picture)



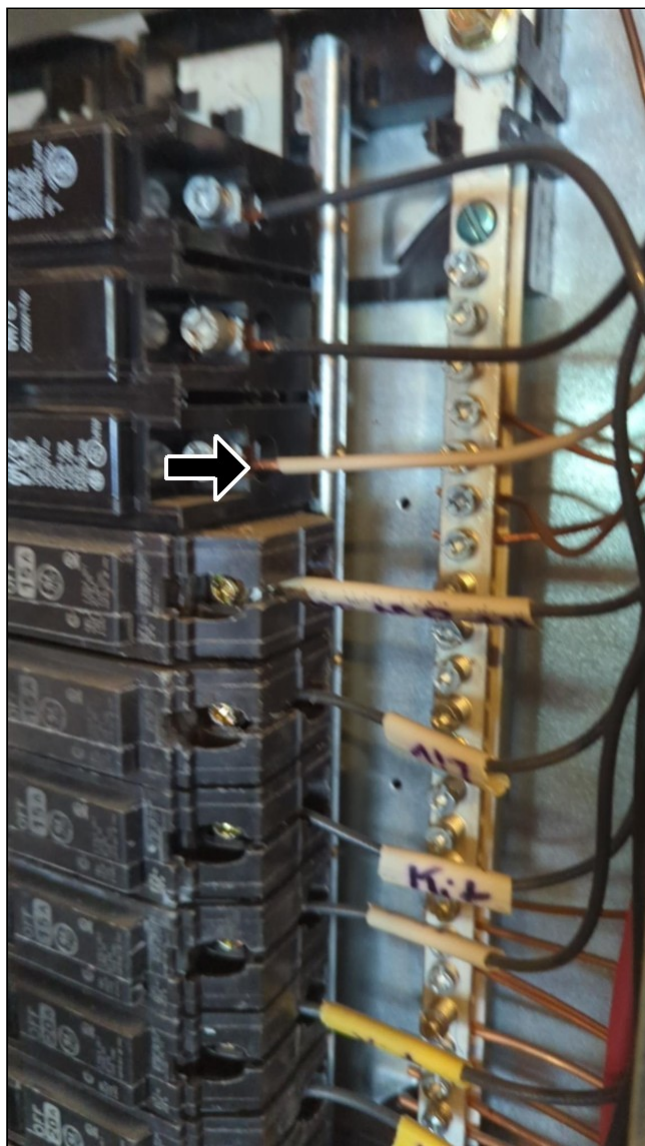
7.2 Item 2(Picture)

- 🔧 (2) Sub panel did not have properly isolated neutral and ground bars and should be corrected. I recommend a licensed electrician inspect further and correct as needed.



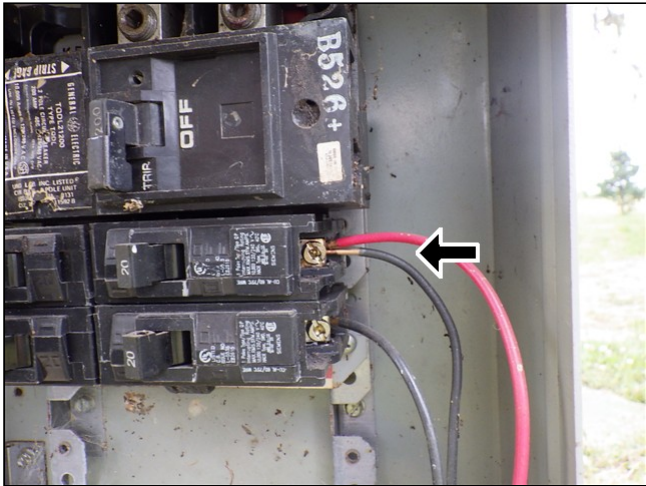
7.2 Item 3(Picture)

- ⚡ (3) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 4(Picture)

-  (4) Double tap (where two wires share a breaker designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring.



7.2 Item 5(Picture)

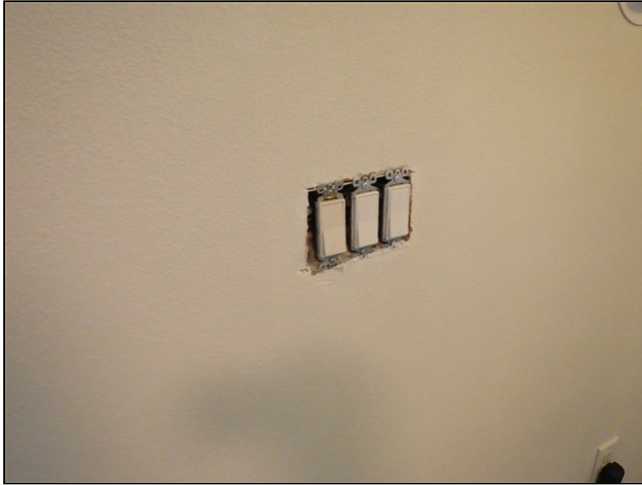
- 7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)**
Comments: Inspected, Repair or Replace
-  (1) Outlets and wall switches were missing cover plates due to painting/repairs. These should be replaced when the painting/repairs are complete.



7.3 Item 1(Picture)



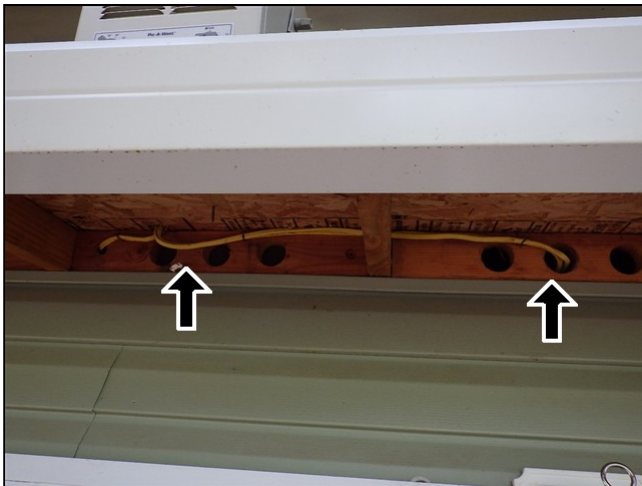
7.3 Item 2(Picture)



7.3 Item 3(Picture)



(2) Exposed wiring on wall in the rear sun room. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 4(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The distribution box (sub panel) was located at the garage. However, the main disconnect (shut-off) was outside at meter base panel (for your information).

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

- The smoke detector(s) in the bedrooms were older than 10 years and were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

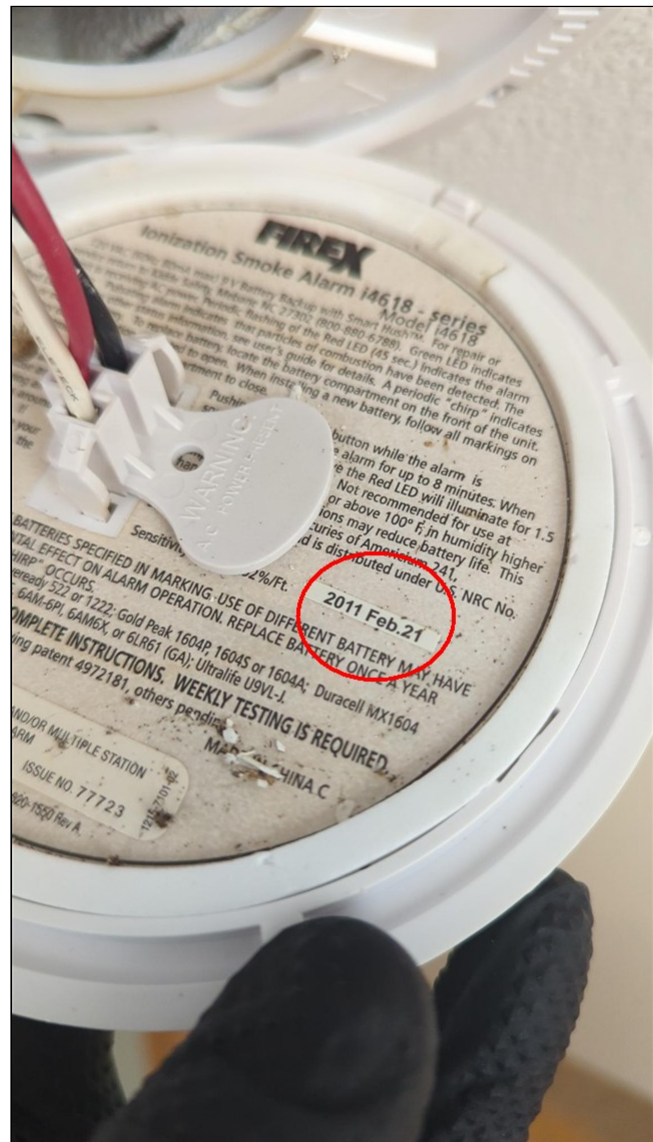
Refer to the state rule for more information: ([ORS 479.260](#))

Oregon law regarding smoke alarms - ORS 479.250 to 479.300	
(This is a summary and not a substitute for reading the entire statute.)	
Technical requirements for alarms	Maintenance
ORS 479.297 All ionization smoke alarms sold in Oregon must have a hush feature enabling a person to silence the alarm for a period of not more than fifteen minutes; and,	- Monthly - test alarm and vacuum to remove dust and cobwebs. - Replace alarms ten years old or older because the sensor wears out. Look for the date stamp on the back of the alarm.

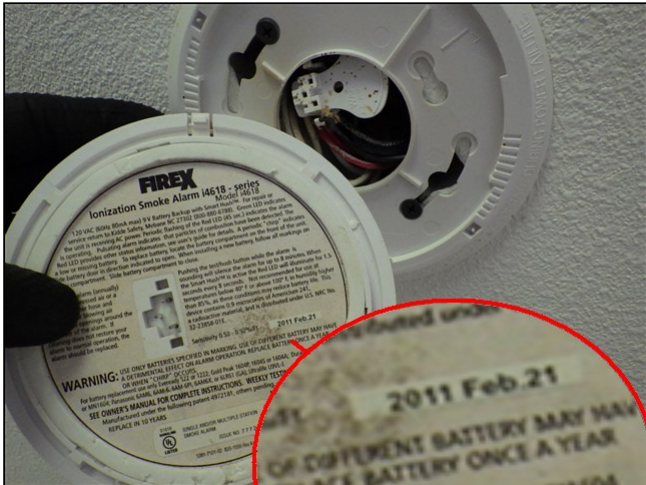
7.7 Item 1(Picture)

Smoke alarms exempt from hush feature and ten-year battery requirements - Photoelectric alarms (both single and hard-wired) - Multipurpose alarms such as combination smoke and fire/carbon monoxide alarms - Fire alarm systems tied to police, fire, private alarm company - Smoke alarms specifically designed for hearing impaired persons - A hard-wired ionization smoke alarm must have a hush feature but is not required to have a ten-year battery. Note: - Hard-wired systems cannot be replaced with solely battery-operated smoke alarms. - Combination fire/burglar alarm systems meet the Oregon hush feature requirement if they can be silenced at a control panel.	
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7.7 Item 2(Picture)



7.7 Item 3(Picture)



7.7 Item 4(Picture)

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.

[illegible]



Styles & Materials

Heat Type: Heat Pump Forced Air (also provides cool air) Forced Air	Energy Source: Electric	Heat System Brand: AMERICAN STANDARD
Approximate age of Furnace/boiler: 2024	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 16x20	Types of Fireplaces: None	Number of Installed Woodstoves: None
Cooling Equipment Type: Heat Pump Forced Air (also provides warm air)	Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: DAIKIN
Number of AC Only Units: One	Approximate age of Central Air Equipment: 2024	

Inspection Items

8.0 HEATING EQUIPMENT

Comments: Inspected

8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected, Repair or Replace

 The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.



Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>



8.3 Item 1(Picture)

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Present

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected

8.9 NORMAL OPERATING CONTROLS

Comments: Inspected

8.10 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation: Blown Batt Fiberglass R-30 or better	Ventilation: Roof vents Soffit Vents	Exhaust Fans: Fan only
Dryer Power Source: 240 Electric	Dryer Vent: Metal	Floor System Insulation: Batts Fiberglass R-25
Vapor Retarder/Barrier: Black Plastic		

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

 Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 1(Picture)

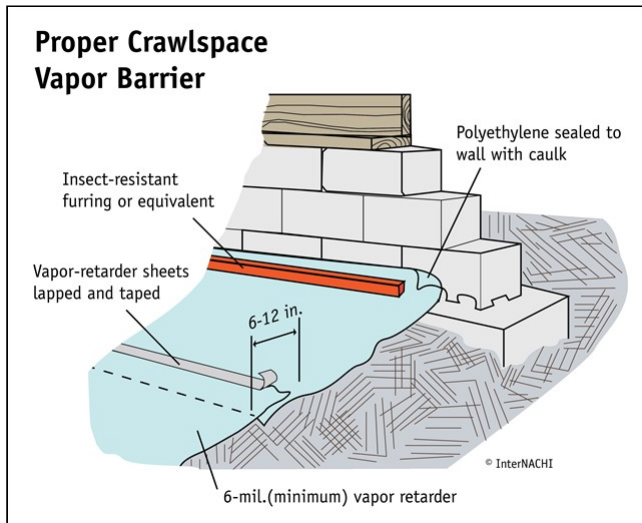
9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

- 🔧 The vapor retarder (plastic) on the crawlspace ground had been cut and damaged throughout the crawlspace. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected, Repair or Replace

- 🔧 The foundation has a hole large enough for pests at the front and side of the building. Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.



9.3 Item 1(Picture)



9.3 Item 2(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)

Comments: Inspected, Repair or Replace

- 🔧 The dryer vent piping had a damaged vent hood outside. Damaged piping can cause an obstruction of lint that has a possibility to create a fire hazard. I recommend repair as needed.



9.4 Item 1(Picture)

9.5 ATTIC VENTILATION FANS

Comments: Not Inspected, Repair or Replace

- ✎ The attic fan should be disabled as the energy it uses and the significant pressure differences it creates are not worth the few degrees of temperature difference in the attic. Thorough air sealing between the building and attic should be done instead of power attic ventilation.

Please refer to this post for more information: <https://www.energyvanguard.com/blog/75600/The-1-Reason-Power-Attic-Ventilators-Don-t-Help>



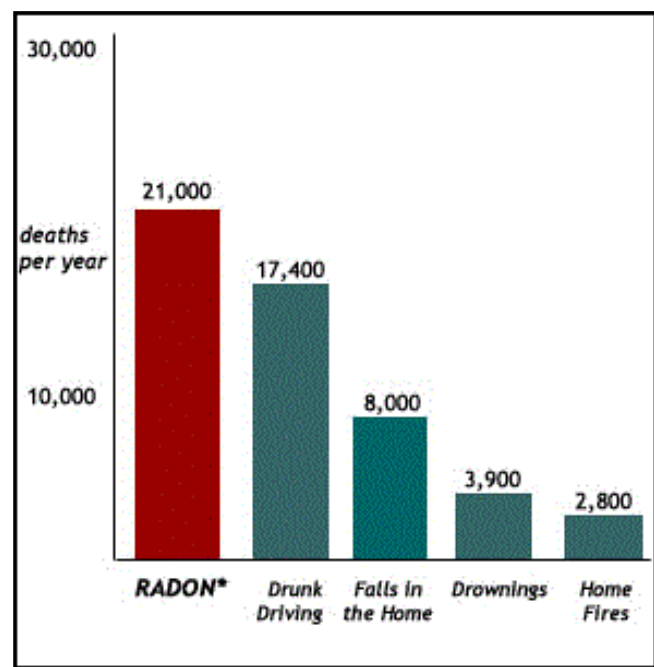
9.5 Item 1(Picture)

9.6 RADON MITIGATION SYSTEM

Comments: Not Present

 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.6 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

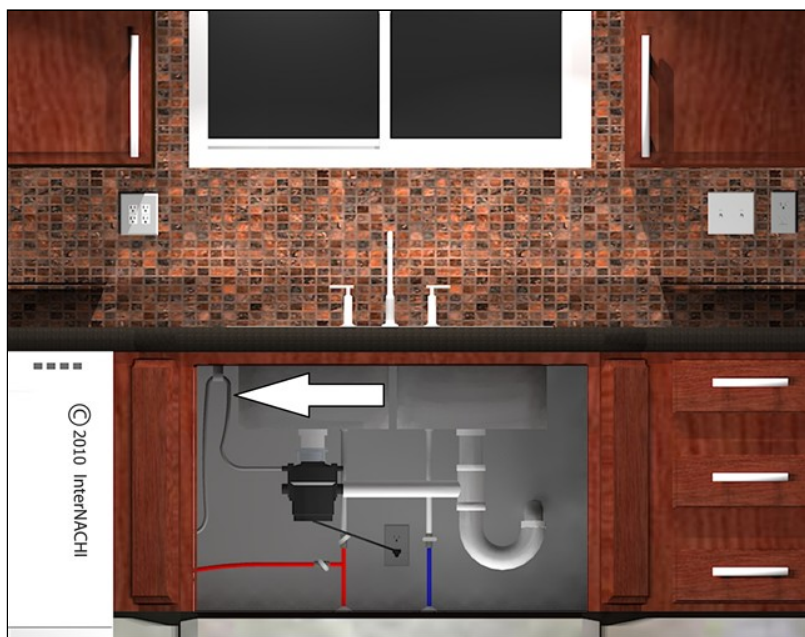
Disposer Brand: NONE	Installed Dishwasher Brand: LG	Range/Oven/Cooktop: AMANA
Kitchen Exhaust/Range hood: NUTONE	Built in Microwave: NONE	Trash Compactors: NONE

Inspection Items

- 10.0 FOOD WASTE DISPOSER
Comments: Inspected
- 10.1 INSTALLED DISHWASHER
Comments: Inspected, Repair or Replace



The dishwasher drain hose did not perform a high loop to create a trap under sink. This condition can lead to food particles entering the drain line and may create odors. I recommend repair as necessary.



10.1 Item 1(Picture)



10.1 Item 2(Picture)

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Inspected

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

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Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Oregon Standards of Practice for Home Inspections](#)

[Consumer Protection Notice](#)