

Perfection Inspection, Inc

-Melina Tomson Burnham LLC

**Property Address:
4473 Hayesville Dr NE
Salem OR 97305**



12/2/2024

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

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J. C. Allhiser President



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Date: 12/2/2024	Time: 01:00 PM	Report ID: 20241202-4473-Hayesville-Dr-NE
Property: 4473 Hayesville Dr NE Salem OR 97305	Customer: -Melina Tomson Burnham LLC	Real Estate Professional:

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

This building is older than 50 years and the inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult with a one time inspection and on an older building. Sometimes in older buildings there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this building. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Listing broker	Type of building: Single Family (1 story)
Approximate Year Built: 1976	Temperature: , Below 40	Weather: Cloudy
Ground/Soil surface condition: Damp	Rain in last 3 days: No	Radon Test: No

Repair Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (1) The downspouts need to carry water at least 10 feet away from the building at the front of the building. A licensed professional contractor should repair this issue. Allowing excess storm water to dump near the building can contribute to water in the crawlspace, structure/siding deterioration and structural movement.
-   (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.
-  (3) The downspouts are connected to a drain lines that are most likely no longer functional. Downspouts that drain poorly or are clogged can lead to many costly problems such as water in the crawlspace, structural movement and rot cause by storm water. A qualified contractor should inspect and repair as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

-  (1) The wood composite siding at the front, rear and sides of the building (refer to picture(s)) had areas of deterioration. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-  (2) The siding at the exterior in areas has open butt joints. The caulking joints will need to be actively maintained to prevent moisture intrusion in these areas. A qualified contractor should inspect and repair as needed.

2.1 DOORS (Exterior)**Inspected, Repair or Replace**

-  The main entry door was missing the dead bolt strike plate. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

2.5 EAVES, SOFFITS AND FASCIAS**Inspected, Repair or Replace**

-  (1) The rake rafter and fascia on the roof slope show signs of deterioration. These should be repaired to prevent further damage to related components.
-  (2) A gap between the fascia and soffit exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.

2.6 OTHER**Inspected, Repair or Replace**

-  Evidence of pest activity noted in the garage, crawlspace and attic. Some evidence is not unusual, however you should consider a pest control consultation regarding the control of their entry into the building. Pests should be excluded from these areas.

3. Garage

3.0 GARAGE CEILINGS**Inspected, Repair or Replace**

-  The attic access was missing a fire resistant cover. The door is a very important part of the fire barrier between the home and the garage. The door should be replaced with a material that will provide at least an hour worth of fire rating.

3.1 GARAGE WALLS**Inspected, Repair or Replace**

-  The wall that separates garage from heated space was compromised. This is considered unsafe until corrected. A qualified person should correct for safety.

3.3 GARAGE DOOR (S)**Inspected, Repair or Replace**

-  (1) The garage door at the front of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.
-  (2) The human door at the front of the converted carport could not be opened. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING**Inspected, Repair or Replace**

-   The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor should install a proper solid core, fire resistant door.

3.5 GARAGE DOOR OPERATORS**Inspected, Repair or Replace**

-  The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>

4. Interiors

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-  The closet door was missing the center retaining strip at the bottom. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

-  The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.

5.1 CRAWLSPACE MOISTURE

Inspected, Repair or Replace

-  Visible signs of water intrusion in the crawlspace are present from water stains on the plastic vapor barrier. I am unable to determine the extent of intrusion or how often it occurs. I recommend closely monitor and seek further consultation if the moisture becomes a chronic issue.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

-  (1) **Trusses have been cut in the attic. Trusses should not be cut unless a structural engineer designs an acceptable means of resupporting the weight of the roof. A engineer or truss specialist should be consulted to ensure proper repairs.**

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-  (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
-  (2) The waste line has a S-trap, and should be changed to a P-trap at the kitchen. S-traps can sometimes gurgle (struggling for air when draining water), or if not used for long periods can evaporate the water in the trap and cause sewer odors to leak out. S-traps can sometimes lose the water in the trap through a pressure drop in the sewage system (outside the house). I recommend a licensed plumber inspect further and repair as necessary.
-  (3) The stop-valve does not work properly at the master bath sink. Repairs are needed. A qualified licensed plumber should repair or correct as needed.
-  (4) The plumbing waste line leaked at the master bath sink. Repairs are needed Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) The tub faucet was reversed (hot was cold, cold was hot) at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (2) The outside water faucet Had a pipe that was exposed at the rear of the building. This pipe should be repaired or winterized to prevent damage. A licensed professional plumbing contractor should repair as needed. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS**Inspected, Repair or Replace**

-  The vent pipe for gas water heater needs a 1 inch clearance from combustibles in the attic. This is a safety issue and should be repaired. I recommend a qualified licensed heat contractor inspect further and repair as needed.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**Inspected, Repair or Replace**

-  (1) The gas lines in the garage should have a steel bollard to protect the lines from accidental contact with a vehicle. A licensed professional contractor should install as necessary.
-  (2) The corrugated stainless steel tubing did not appear to be properly bonded to the building's electrical ground/bond system. Direct bonding is required for all corrugated stainless steel tubing gas piping systems. Proper bonding and grounding with a #6 copper wire will reduce the possibility of failure and fire due to lightning strikes. **This issue is a manufacturers requirement which supersedes local building codes.**

Refer to page 28 and 29 in the "Pro-Flex" manual: <http://test.proflexcsst.com/wp-content/uploads/2012/06/v16-Pro-Flex-Training-Installation-Guide.pdf>

Some history on this type of piping: http://www.lightning.org/wp-content/uploads/2012/10/09_Presentation-Morgan-CSSTs.pdf

And example video: http://www.youtube.com/watch?feature=player_embedded&v=4Op_TF7tgzg

7. Electrical System

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE**Inspected, Repair or Replace**

-  Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)**Inspected, Repair or Replace**

-  (1) One open splices needs placing inside a box with a cover-plate in the attic space and the enclosed car port. A qualified licensed electrician should perform repairs that involve wiring.
-  (2) Exposed wiring at the attic access in the garage. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.
-  (3) One needs a cover-plate above the garage in attic. Electrical issues are considered a hazard until repaired. I recommend a qualified licensed electrician correct.
-  (4) The light fixtures did not work in various locations. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.
-  (5) Exposed wiring in the enclosed carport. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (6) The "three-prong" outlet was damaged at the converted carport. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (7) The "three-prong" outlet was damaged (foreign object blocking prong holes) in the front corner bedroom. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.
-  (8) The "three-prong" outlets were missing cover-plate in the bedrooms. This is for your information. I recommend repair as needed.

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE**Inspected, Repair or Replace**

-  The outlets at the enclosed carport did not work or there was no power to the outlets. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)**Inspected, Repair or Replace**

-  (1) The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

-  (2) The GFCI (Ground Fault Circuit Interrupter) outlet at the front exterior would not "trip" when tested. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.

7.7 SMOKE DETECTORS**Inspected, Repair or Replace**

-  The smoke detector(s) were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

8. Heating / Central Air Conditioning**8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)****Inspected, Repair or Replace**

-  (1) The electronic air cleaner did not operate properly at time of inspection. Electronic air cleaners are expensive and further inspection and repair by a licensed HVAC person is recommended.
-  (3) The supply duct pipe was missing insulation in areas in the crawlspace. The ducts will not be as efficient as fully insulated ducts. A qualified HVAC person should inspect further and repair or replace as needed.
-  (4) The supply duct pipe needs support straps in the crawlspace. A qualified HVAC person should inspect further and repair or replace as needed.

8.7 GAS/LP FIRELOGS AND FIREPLACES**Not Inspected, Repair or Replace**

-  (1) The vented fire logs in the family room was not operable. Repairs should be made so unit works properly. A qualified contractor should inspect and repair as needed.
-  (2) The vented fire logs in the family room have a white deposit on the glass. This is a normal maintenance issue that should be cleaned. A qualified contractor should service inspect and clean as needed.

9. Insulation and Ventilation**9.1 INSULATION UNDER FLOOR SYSTEM****Inspected, Repair or Replace**

-  The floor system was not insulated. Although this was normal when the building was built, we now know that heat loss can occur more on this building than on one that is properly insulated.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)**Inspected, Repair or Replace**

-  The vapor retarder (plastic) on the crawlspace ground was deteriorated in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE**Inspected, Repair or Replace**

-  The foundation has a hole large enough for pests at the left side (facing front from the inside). Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.

9.4 VENTING SYSTEMS (Baths and laundry)**Inspected, Repair or Replace**

-  (1) The exhaust fans were very noisy at the bathrooms. Vent fans are an important part of moisture management. A qualified person should clean as needed.
-  (2) The dryer vent piping was a flexible duct. The dryer duct should be a "hard duct," installed properly by a licensed professional contractor who is familiar with dryer duct installation. I recommend repair as needed.

10. Built-In Kitchen Appliances**10.4 INSTALLED MICROWAVE COOKING EQUIPMENT****Inspected, Repair or Replace**

-  The microwave shut off while in use. This microwave should be repaired or replaced.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Safety Issues

Perfection Inspection, Inc.

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The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

3. Garage

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Inspected, Repair or Replace



The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor should install a proper solid core, fire resistant door.

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Monitor

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The following items or discoveries indicate that these systems or components that **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

5. Structural Components

5.1 CRAWLSPACE MOISTURE

Inspected, Repair or Replace

- Visible signs of water intrusion in the crawlspace are present from water stains on the plastic vapor barrier. I am unable to determine the extent of intrusion or how often it occurs. I recommend closely monitor and seek further consultation if the moisture becomes a chronic issue.

5.2 WALLS (Structural)

Inspected, Monitor

- The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Repair or Replace

- (2) There are some dips or sags in the roof above the car port. This appears to be mostly a cosmetic issue however it should be monitored and if additional movement is noted repairs may be needed. I recommend monitoring this area and not adding more than one layer of roofing.
- (3) Water stains are on the roofing structure in the converted car port. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

- 🔍 (3) The sink had a hairline crack. It may become worse if moved or "jarred." Appears stable at present at the kitchen. This area should be monitored and repaired if necessary.
- 🔍 (4) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

8. Heating / Central Air Conditioning

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Not Inspected

- 🔍 The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation

9.5 RADON MITIGATION SYSTEM

Not Present

- 🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

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Normal Routine Maintenance

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The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.

8. Heating / Central Air Conditioning

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

-  (2) Your electronic air cleaner is a very efficient system for cleaning the air and it requires specific attention. Please refer to a complete owners manual. You can find more information on how to clean your air cleaner here: [Honeywell Electric Air Cleaners](#)

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home

inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



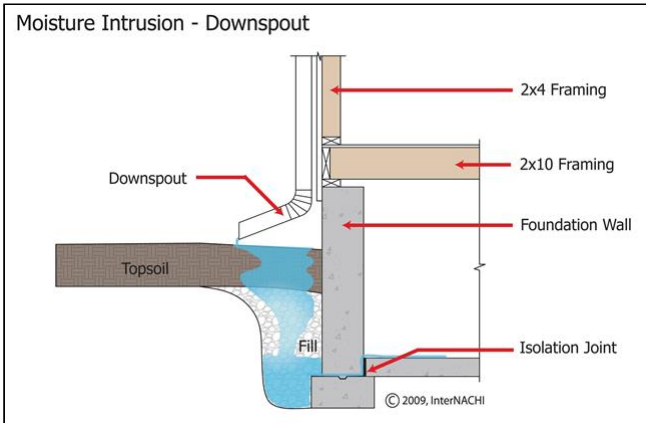
Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Plastic Metal Flue Pipe		

Inspection Items

- 1.0 ROOF COVERINGS
Comments: Inspected
- 1.1 FLASHINGS
Comments: Inspected
- 1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS
Comments: Inspected
- 1.3 ROOF DRAINAGE SYSTEMS
Comments: Inspected, Repair or Replace

 (1) The downspouts need to carry water at least 10 feet away from the building at the front of the building. A licensed professional contractor should repair this issue. Allowing excess storm water to dump near the building can contribute to water in the crawlspace, structure/siding deterioration and structural movement.



1.3 Item 1(Picture)



1.3 Item 2(Picture)

 (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.



1.3 Item 3(Picture)



1.3 Item 4(Picture)

- 🔧 (3) The downspouts are connected to a drain lines that are most likely no longer functional. Downspouts that drain poorly or are clogged can lead to many costly problems such as water in the crawlspace, structural movement and rot cause by storm water. A qualified contractor should inspect and repair as needed.



1.3 Item 5(Picture)

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Cement-Fiber	Composite
Panel	Wood Composite	
Driveway:	Retaining wall that Affects the Building:	
Concrete	None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

 **Comments:** Inspected, Repair or Replace

(1) The wood composite siding at the front, rear and sides of the building (refer to picture(s)) had areas of deterioration. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



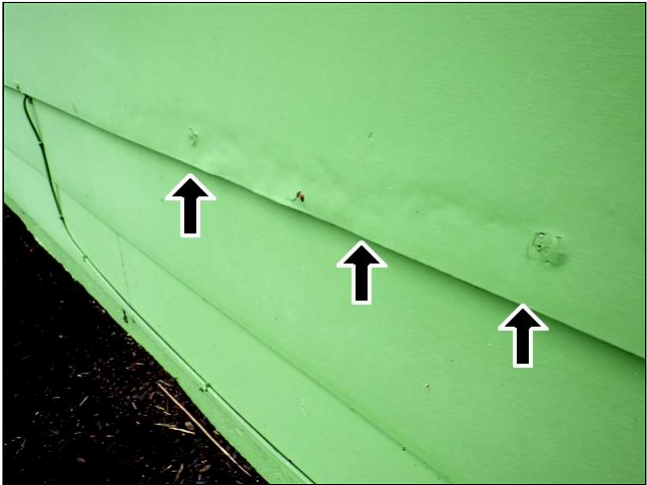
2.0 Item 3(Picture)



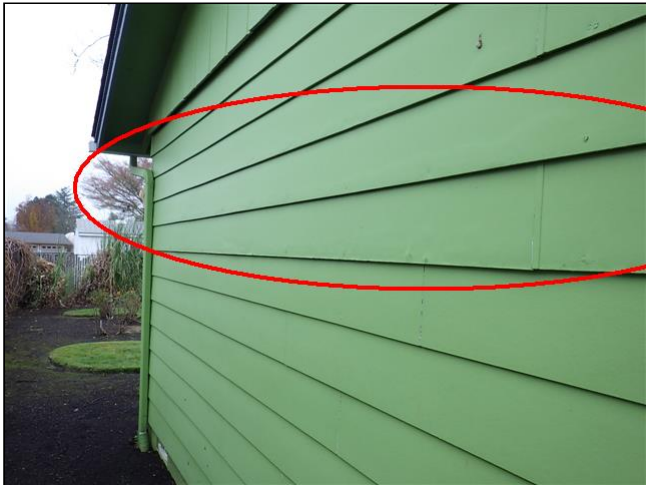
2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)



2.0 Item 7(Picture)



2.0 Item 8(Picture)



2.0 Item 9(Picture)



2.0 Item 10(Picture)

 (2) The siding at the exterior in areas has open butt joints. The caulking joints will need to be actively maintained to prevent moisture intrusion in these areas. A qualified contractor should inspect and repair as needed.



2.0 Item 11(Picture)

2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

- 🔧 The main entry door was missing the dead bolt strike plate. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



2.1 Item 1(Picture)

2.2 WINDOWS

Comments: Inspected

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

- 🔧 (1) The rake rafter and fascia on the roof slope show signs of deterioration. These should be repaired to prevent further damage to related components.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

- 🔧 (2) A gap between the fascia and soffit exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.



2.5 Item 3(Picture)

2.6 OTHER

Comments: Inspected, Repair or Replace

- 🔧 Evidence of pest activity noted in the garage, crawlspace and attic. Some evidence is not unusual, however you should consider a pest control consultation regarding the control of their entry into the building. Pests should be excluded from these areas.



2.6 Item 1(Picture)



2.6 Item 2(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



Styles & Materials

Garage Door Type: One automatic	Garage Door Material: Metal Insulated	Auto-opener Manufacturer: OVERHEAD DOOR
Did the Garage Door Opener Reverse when met with Resistance?: Yes		

Inspection Items

3.0 GARAGE CEILINGS

Comments: Inspected, Repair or Replace

- 🔧 The attic access was missing a fire resistant cover. The door is a very important part of the fire barrier between the home and the garage. The door should be replaced with a material that will provide at least an hour worth of fire rating.



3.0 Item 1(Picture)

3.1 GARAGE WALLS

Comments: Inspected, Repair or Replace

- 🔧 The wall that separates garage from heated space was compromised. This is considered unsafe until corrected. A qualified person should correct for safety.



3.1 Item 1(Picture)

3.2 GARAGE FLOOR

Comments: Inspected

3.3 GARAGE DOOR (S)

Comments: Inspected, Repair or Replace

- 🔧 (1) The garage door at the front of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.



3.3 Item 1(Picture)

- 🔧 (2) The human door at the front of the converted carport could not be opened. This should be repaired/ replaced. A qualified contractor should inspect and repair as needed.

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Comments: Inspected, Repair or Replace

- 🔧 The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor should install a proper solid core, fire resistant door.



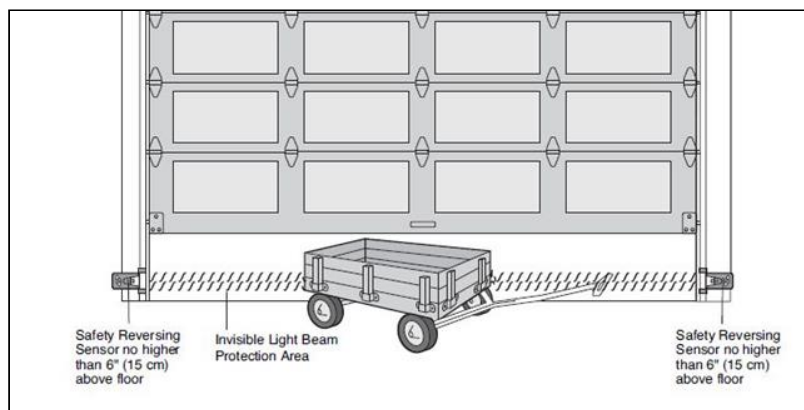
3.4 Item 1(Picture)

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

- 🔧 The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>



3.5 Item 1(Picture)



3.5 Item 2(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Vinyl Carpet
Interior Doors: Hollow core	Window Types: Thermal/Insulated Vinyl Frame	Cabinetry: Wood
Countertop: Fiberglass Laminate		

Inspection Items

4.0 CEILINGS

Comments: Inspected

4.1 WALLS

Comments: Inspected

4.2 FLOORS

Comments: Inspected

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

 The closet door was missing the center retaining strip at the bottom. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.



4.5 Item 1(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe Crawlspace: Crawled	Floor Structure: Wood beams
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Engineered wood trusses
Roof-Type: Gable	Method used to observe attic: From entry	

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Repair or Replace

The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)

5.1 CRAWLSPACE MOISTURE

Comments: Inspected, Repair or Replace

- 🔍 Visible signs of water intrusion in the crawlspace are present from water stains on the plastic vapor barrier. I am unable to determine the extent of intrusion or how often it occurs. I recommend closely monitor and seek further consultation if the moisture becomes a chronic issue.



5.1 Item 1(Picture)

5.2 WALLS (Structural)

Comments: Inspected, Monitor

- 🔍 The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.



5.2 Item 1(Picture) This is a crack monitor

5.3 COLUMNS OR PIERS

Comments: Inspected

5.4 FLOORS (Structural)

Comments: Inspected

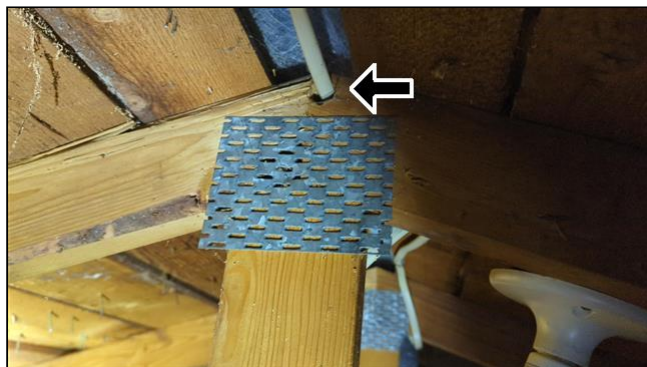
5.5 CEILINGS (structural)

Comments: Inspected

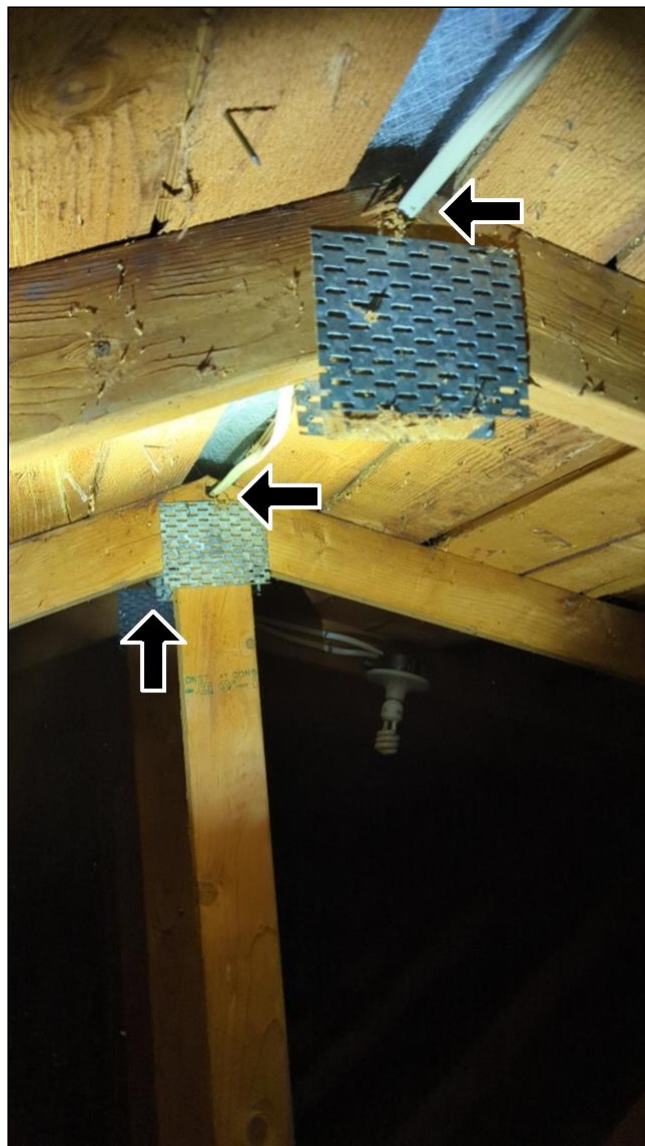
5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Repair or Replace

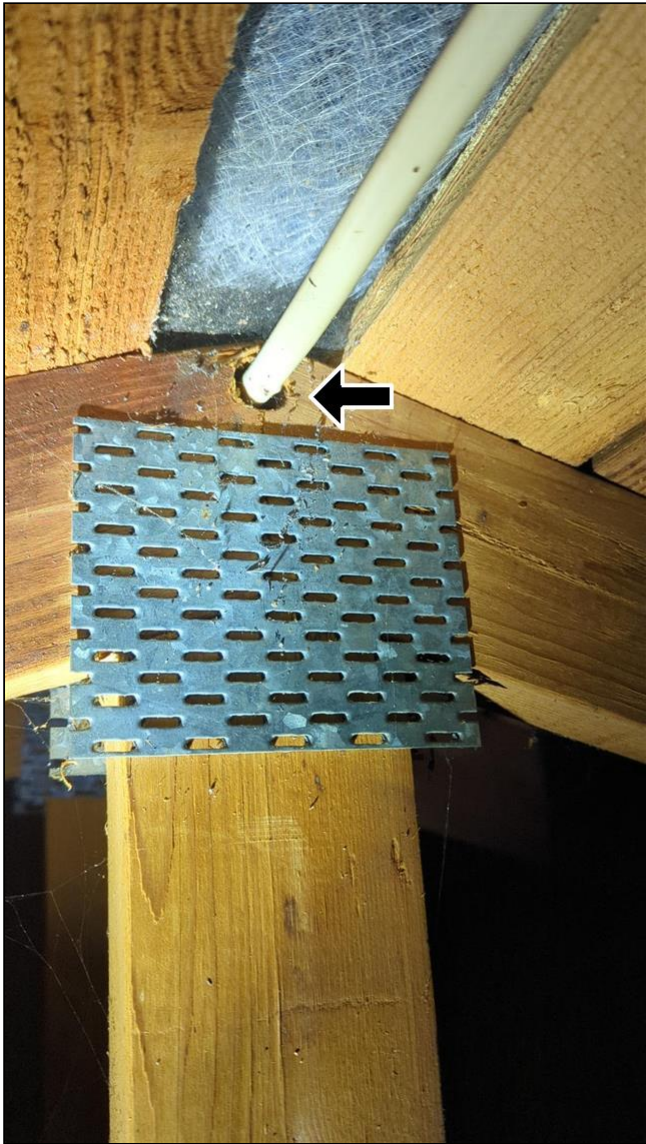
- 🔧 (1) **Trusses have been cut in the attic. Trusses should not be cut unless a structural engineer designs an acceptable means of resupporting the weight of the roof. A engineer or truss specialist should be consulted to ensure proper repairs.**



5.6 Item 1(Picture)



5.6 Item 2(Picture)



5.6 Item 3(Picture)



5.6 Item 4(Picture)



5.6 Item 5(Picture)

- 🔍 (2) There are some dips or sags in the roof above the car port. This appears to be mostly a cosmetic issue however it should be monitored and if additional movement is noted repairs may be needed. I recommend monitoring this area and not adding more than one layer of roofing.



5.6 Item 6(Picture)

- 🔍 (3) Water stains are on the roofing structure in the converted car port. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.



5.6 Item 7(Picture)

5.7 WOOD DESTROYING ORGANISMS

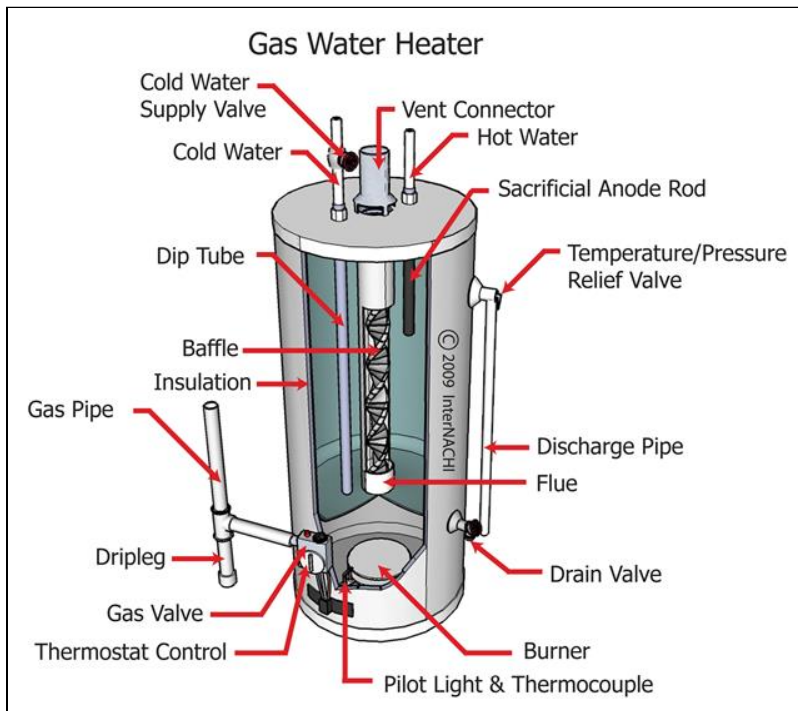
Comments: Inspected

No activity could be observed at the time of the inspection.

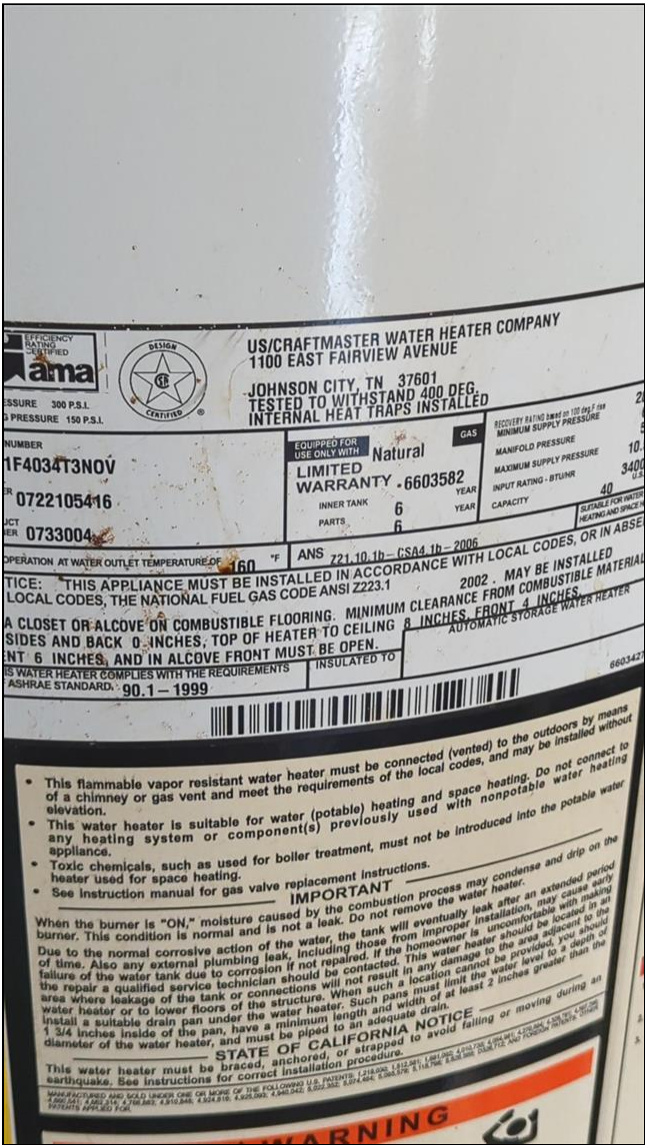
The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





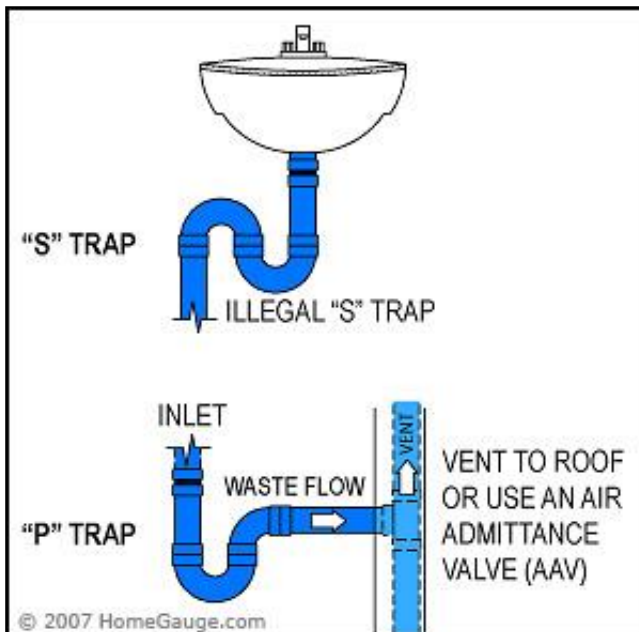


- 🔧 (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main underground soil pipe could not be viewed and was not inspected.



6.0 Item 1(Picture)

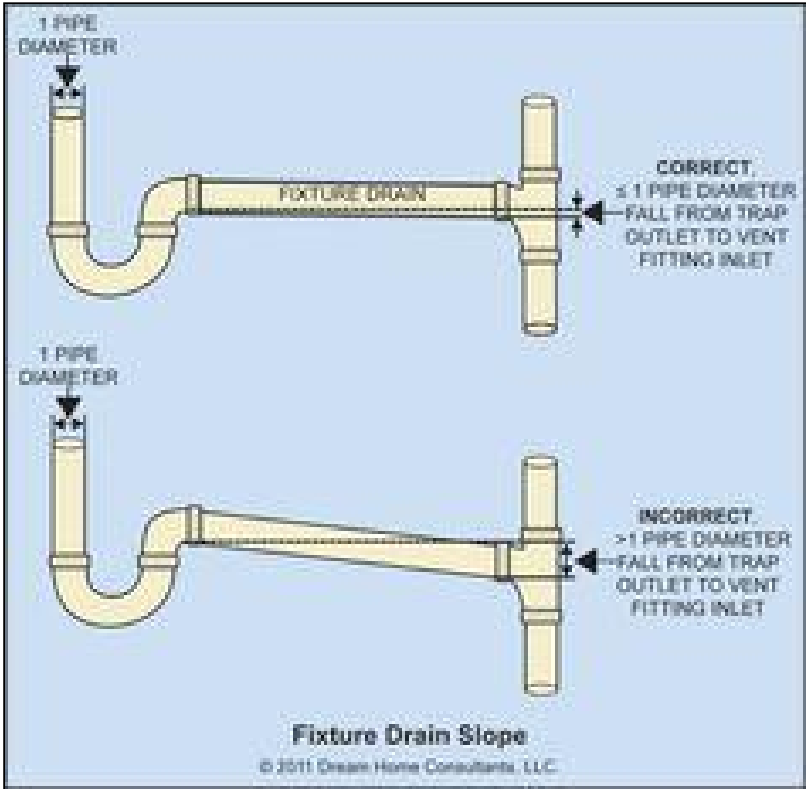
- 🔧 (2) The waste line has a S-trap, and should be changed to a P-trap at the kitchen. S-traps can sometimes gurgle (struggling for air when draining water), or if not used for long periods can evaporate the water in the trap and cause sewer odors to leak out. S-traps can sometimes lose the water in the trap through a pressure drop in the sewage system (outside the house). I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 2(Picture)



6.0 Item 3(Picture)



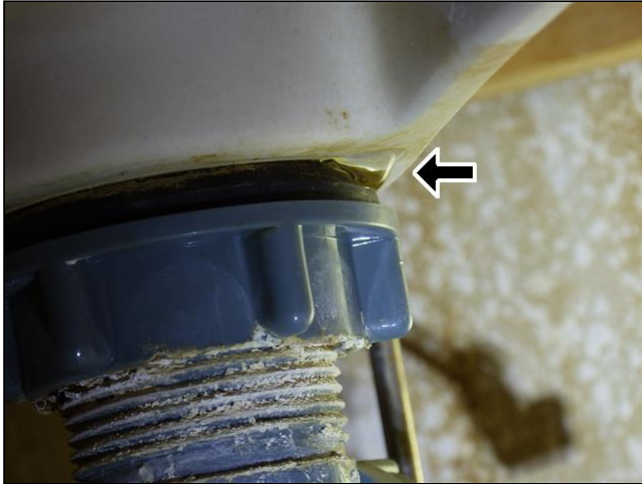
6.0 Item 4(Picture)

🔧 (3) The stop-valve does not work properly at the master bath sink. Repairs are needed. A qualified licensed plumber should repair or correct as needed.



6.0 Item 5(Picture)

- 🔧 (4) The plumbing waste line leaked at the master bath sink. Repairs are needed Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

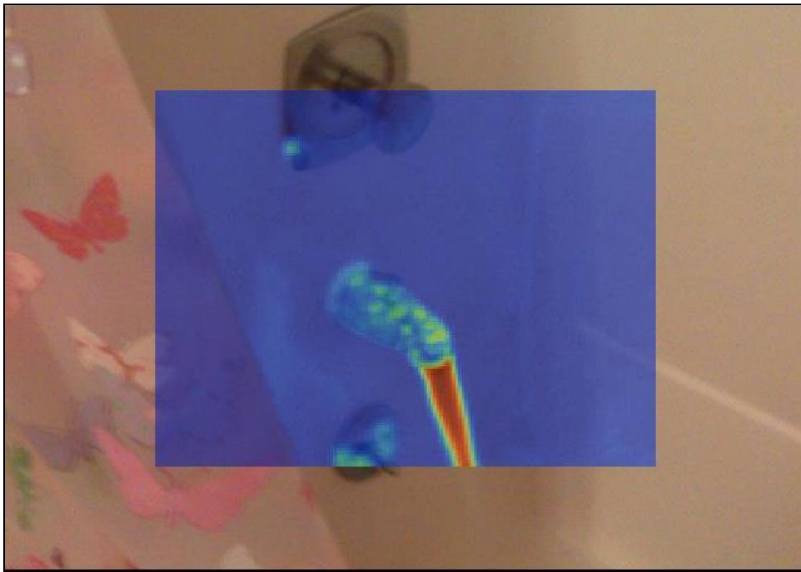


6.0 Item 6(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The tub faucet was reversed (hot was cold, cold was hot) at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



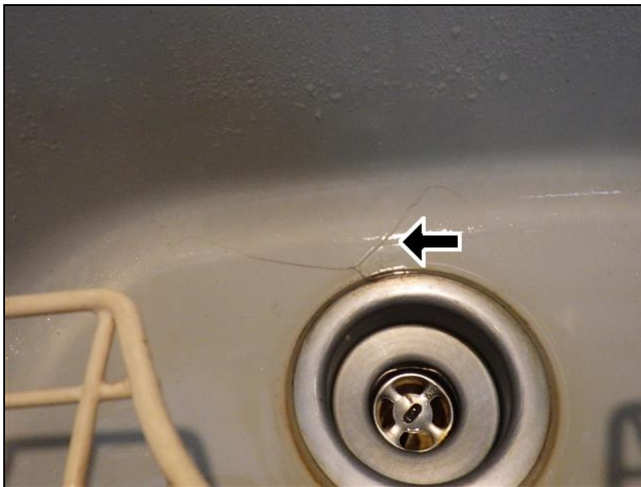
6.1 Item 1(Picture)

- 🔧 (2) The outside water faucet Had a pipe that was exposed at the rear of the building. This pipe should be repaired or winterized to prevent damage. A licensed professional plumbing contractor should repair as needed. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 2(Picture)

- 🔍 (3) The sink had a hairline crack. It may become worse if moved or "jarred." Appears stable at present at the kitchen. This area should be monitored and repaired if necessary.



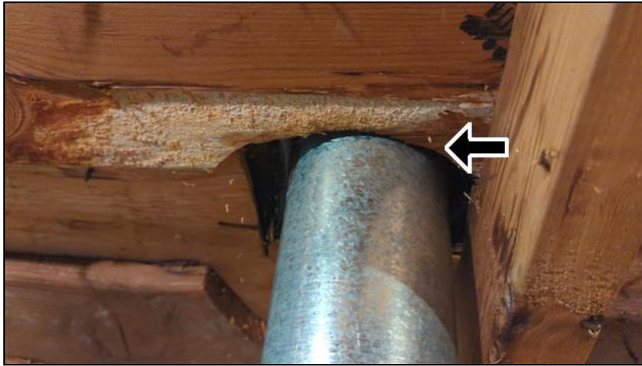
6.1 Item 3(Picture)

- 🔍 (4) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected, Repair or Replace

- 🔧 The vent pipe for gas water heater needs a 1 inch clearance from combustibles in the attic. This is a safety issue and should be repaired. I recommend a qualified licensed heat contractor inspect further and repair as needed.



6.2 Item 1(Picture)

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut off was located outside in the ground.



6.3 Item 1(Picture)

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)**Comments:** Inspected, Repair or Replace

- 🔧 (1) The gas lines in the garage should have a steel bollard to protect the lines from accidental contact with a vehicle. A licensed professional contractor should install as necessary.



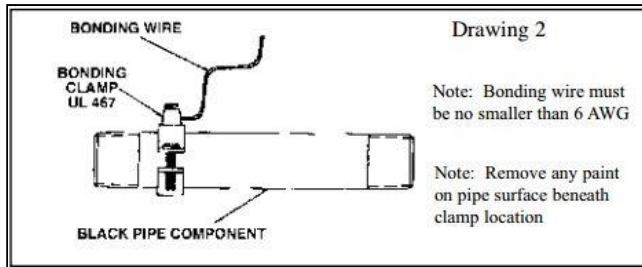
6.4 Item 1(Picture)

- (2) The corrugated stainless steel tubing did not appear to be properly bonded to the building's electrical ground/bond system. Direct bonding is required for all corrugated stainless steel tubing gas piping systems. Proper bonding and grounding with a #6 copper wire will reduce the possibility of failure and fire due to lightning strikes. **This issue is a manufacturers requirement which supersedes local building codes.**

Refer to page 28 and 29 in the "Pro-Flex" manual: <http://test.proflexcsst.com/wp-content/uploads/2012/06/v16-Pro-Flex-Training-Installation-Guide.pdf>

Some history on this type of piping: http://www.lightning.org/wp-content/uploads/2012/10/09_Presentation-Morgan-CSSTs.pdf

And example video: http://www.youtube.com/watch?feature=player_embedded&v=4Op_TF7tgzg



6.4 Item 2(Picture)



6.4 Item 3(Picture)

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside

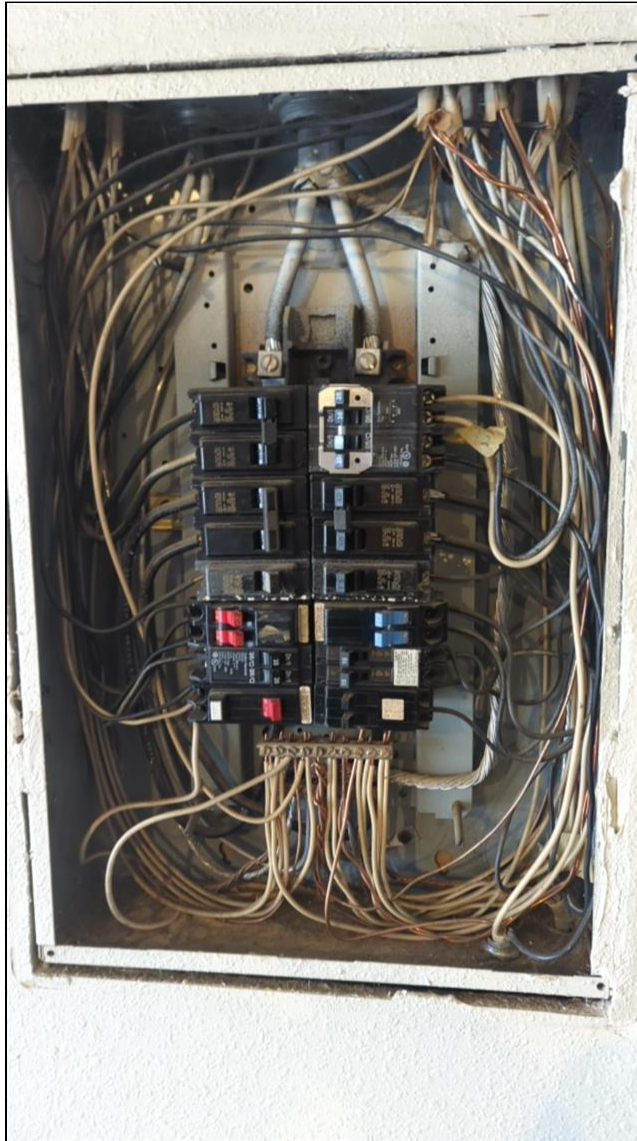


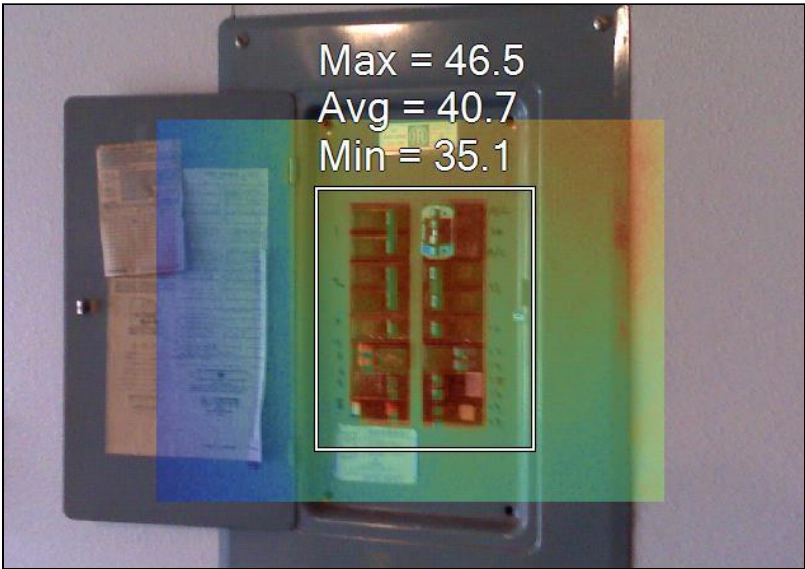
6.5 Item 1(Picture)

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load

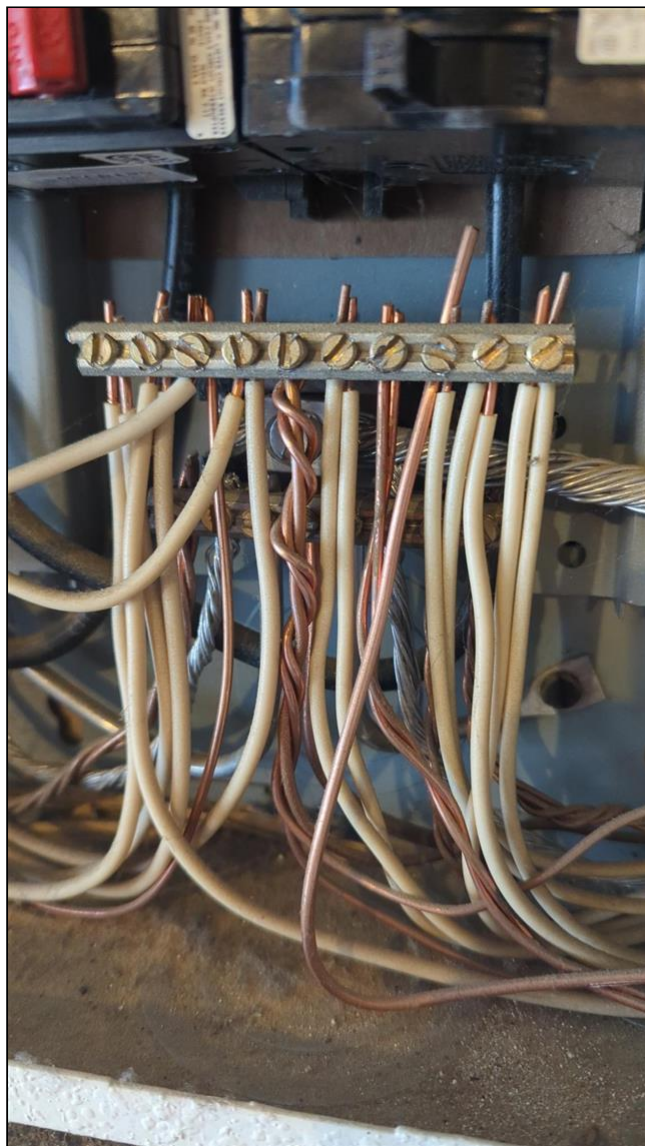
Styles & Materials

Electrical Service Conductors: Below ground Aluminum 240 volts	Panel capacity: 125 AMP	Electric Panel Manufacturer: Industrial Electric Manufacturing Inc. ITE
Panel Type: Circuit breakers	Sub Panel Manufacturer: None	Branch wire 15 and 20 AMP: Copper
Wiring Methods: Non Metallic sheathed Cable		

Inspection Items

7.0 SERVICE ENTRANCE CONDUCTORS Comments: Inspected
7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS Comments: Inspected
7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE Comments: Inspected, Repair or Replace

- ⚡ Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>



7.2 Item 1(Picture)

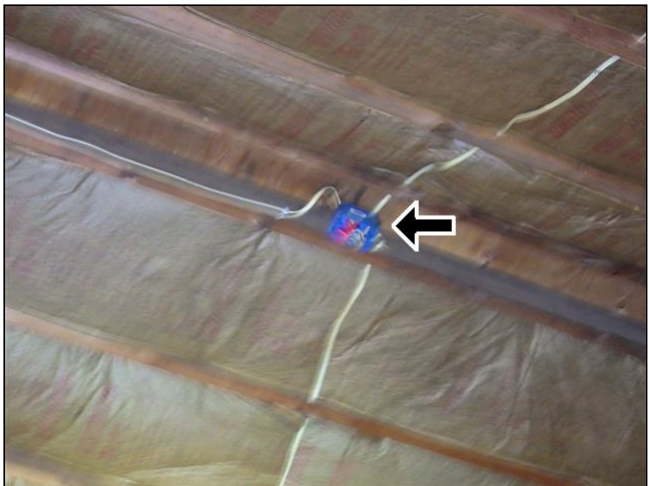
7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Comments: Inspected, Repair or Replace

🔧 (1) One open splices needs placing inside a box with a cover-plate in the attic space and the enclosed car port. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 1(Picture)



7.3 Item 2(Picture)

🔧 (2) Exposed wiring at the attic access in the garage. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 3(Picture)



7.3 Item 4(Picture)



7.3 Item 5(Picture)

- 🔧 (3) One needs a cover-plate above the garage in attic. Electrical issues are considered a hazard until repaired. I recommend a qualified licensed electrician correct.



7.3 Item 6(Picture)

- 🔧 (4) The light fixtures did not work in various locations. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.



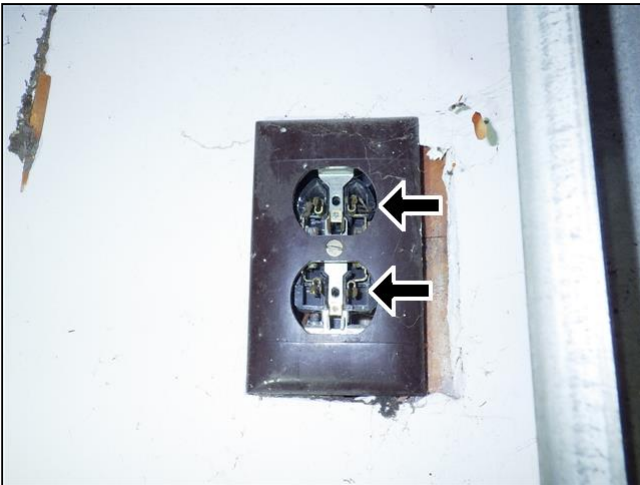
7.3 Item 7(Picture)

- 🔧 (5) Exposed wiring in the enclosed carport. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 8(Picture)

- 🔧 (6) The "three-prong" outlet was damaged at the converted carport. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 9(Picture)

- 🔧 (7) The "three-prong" outlet was damaged (foreign object blocking prong holes) in the front corner bedroom. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 10(Picture)

- 🔧 (8) The "three-prong" outlets were missing cover-plate in the bedrooms. This is for your information. I recommend repair as needed.



7.3 Item 11(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected, Repair or Replace

- 🔧 The outlets at the enclosed carport did not work or there was no power to the outlets. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

- 🔧 (1) The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf



7.5 Item 1(Picture)



7.5 Item 2(Picture)

🔧 (2) The GFCI (Ground Fault Circuit Interrupter) outlet at the front exterior would not "trip" when tested. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.5 Item 3(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected
The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 The smoke detector(s) were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

Oregon law regarding smoke alarms - ORS 479.250 to 479.300

(This is a summary and not a substitute for reading the entire statute.)

Technical requirements for alarms

ORS 479.297
All ionization smoke alarms sold in Oregon

- 1) must have a hush feature enabling a person to silence the alarm for a period of not more than fifteen minutes; and,

Maintenance

- 1) Monthly - test alarm and vacuum to remove dust and cobwebs.
- 2) Replace alarms ten years old or older because the sensor wears out. Look for the date stamp on the back of the alarm.

7.7 Item 1(Picture)

Smoke alarms exempt from hush feature and ten-year battery requirements

- 1) Photoelectric alarms (both single and hard-wired)
- 2) Multipurpose alarms such as combination smoke and fire/carbon monoxide alarms
- 3) Fire alarm systems tied to police, fire, private alarm company
- 4) Smoke alarms specifically designed for hearing impaired persons
- 5) A hard-wired ionization smoke alarm must have a hush feature but is not required to have a ten-year battery.

Note:

- Hard-wired systems cannot be replaced with solely battery-operated smoke alarms.
- Combination fire/burglar alarm systems meet the Oregon hush feature requirement if they can be silenced at a control panel.



7.7 Item 3(Picture)

7.7 Item 2(Picture)

7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





Styles & Materials

Heat Type:

Forced Air
High (90%+) Efficiency

Approximate age of Furnace/boiler:

2012

Types of Fireplaces:

Vented gas logs

Cooling Equipment Energy Source:

Electricity

Approximate age of Central Air

Equipment:

2013

Energy Source:

Natural gas

Ductwork:

Insulated

Number of Installed

Woodstoves:

None

Central Air Manufacturer:

TRANE

Heat System Brand:

TRANE

Filter Type:

Electronic air cleaner

Cooling Equipment Type:

Split system Air conditioner unit

Number of AC Only Units:

One

Inspection Items

8.0 HEATING EQUIPMENT

Comments: Inspected

8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected, Repair or Replace

- 🔧 (1) The electronic air cleaner did not operate properly at time of inspection. Electronic air cleaners are expensive and further inspection and repair by a licensed HVAC person is recommended.



8.3 Item 1(Picture)

- 🏠 (2) Your electronic air cleaner is a very efficient system for cleaning the air and it requires specific attention. Please refer to a complete owners manual. You can find more information on how to clean your air cleaner here: [Honeywell Electric Air Cleaners](https://www.honeywell.com/na/en/home/indoor-air-quality/electronic-air-cleaners)

- 🔧 (3) The supply duct pipe was missing insulation in areas in the crawlspace. The ducts will not be as efficient as fully insulated ducts. A qualified HVAC person should inspect further and repair or replace as needed.



8.3 Item 2(Picture)



8.3 Item 3(Picture)

- 🔧 (4) The supply duct pipe needs support straps in the crawlspace. A qualified HVAC person should inspect further and repair or replace as needed.



8.3 Item 4(Picture)

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Inspected, Repair or Replace

- 🔧 (1) The vented fire logs in the family room was not operable. Repairs should be made so unit works properly. A qualified contractor should inspect and repair as needed.



8.7 Item 1(Picture)

- 🔧 (2) The vented fire logs in the family room have a white deposit on the glass. This is a normal maintenance issue that should be cleaned. A qualified contractor should service inspect and clean as needed.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Inspected

-  The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation: Blown Batt Fiberglass Cellulose Approximate R-13	Ventilation: Roof vents Soffit Vents	Exhaust Fans: Fan only
Dryer Power Source: 240 Electric	Dryer Vent: Flexible Metal	Floor System Insulation: NONE
Vapor Retarder/Barrier: Black Plastic		

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected

9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected, Repair or Replace

 The floor system was not insulated. Although this was normal when the building was built, we now know that heat loss can occur more on this building than on one that is properly insulated.

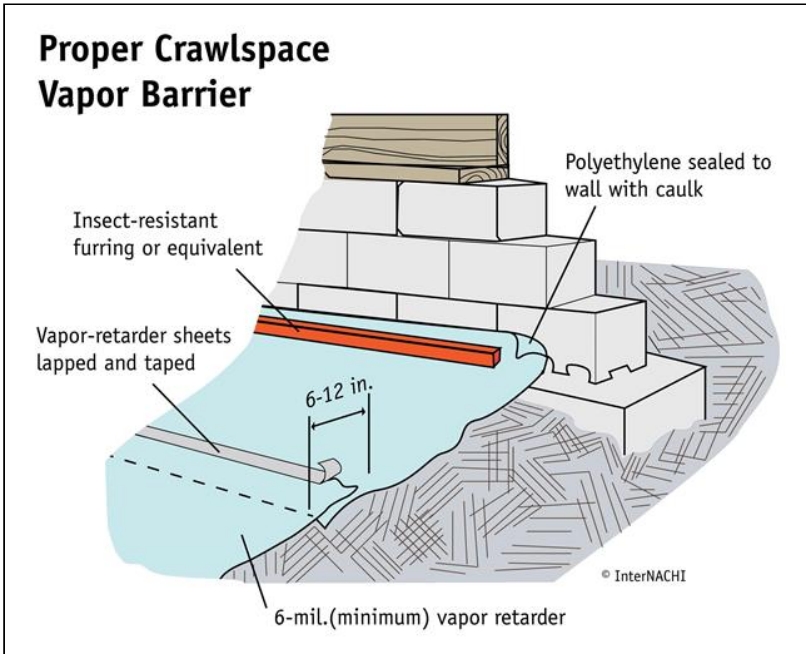


9.1 Item 1(Picture)

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

🔧 The vapor retarder (plastic) on the crawlspace ground was deteriorated in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)



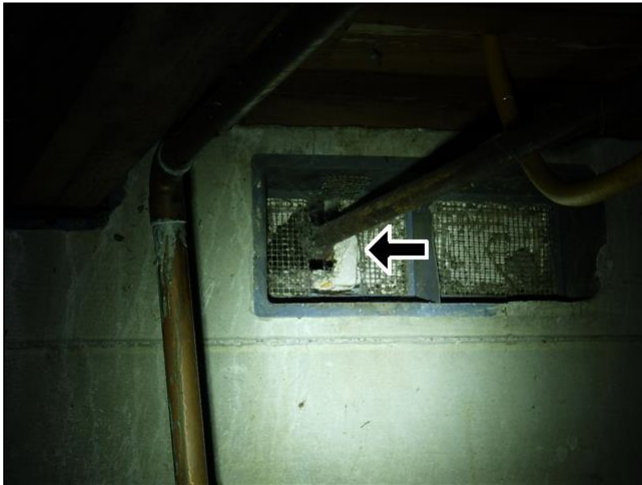
9.2 Item 3(Picture)



9.2 Item 4(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE**Comments:** Inspected, Repair or Replace

🔧 The foundation has a hole large enough for pests at the left side (facing front from the inside). Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.



9.3 Item 1(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)**Comments:** Inspected, Repair or Replace

- 🔧 (1) The exhaust fans were very noisy at the bathrooms. Vent fans are an important part of moisture management. A qualified person should clean as needed.



9.4 Item 1(Picture)



9.4 Item 2(Video)

(2) The dryer vent piping was a flexible duct. The dryer duct should be a "hard duct," installed properly by a licensed professional contractor who is familiar with dryer duct installation. I recommend repair as needed.



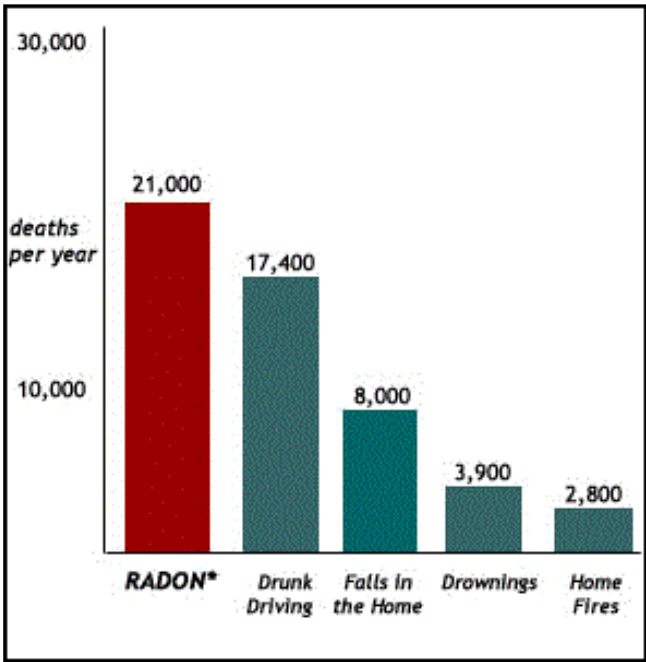
9.4 Item 3(Picture)

9.5 RADON MITIGATION SYSTEM

Comments: Not Present

You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

Disposer Brand: IN SINK ERATOR	Installed Dishwasher Brand: WHIRLPOOL	Range/Oven/Cooktop: KENMORE
Kitchen Exhaust/Range hood: REFER TO MICROWAVE SAMSUNG	Built in Microwave: SAMSUNG	Trash Compactors: NONE

Inspection Items

10.0 FOOD WASTE DISPOSER

Comments: Inspected

10.1 INSTALLED DISHWASHER

Comments: Inspected

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Inspected, Repair or Replace

 The microwave shut off while in use. This microwave should be repaired or replaced.

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

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Report Attachments

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