

Perfection[✓] Inspection, Inc

Melissa Barwig

**Property Address:
1356 Pressler Ct S
Salem OR 97306**



12/26/2024

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

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503.508.4321 jallhiser@PerfectionInspectionInc.com**

J. C. President



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Date: 12/26/2024	Time: 02:00 PM	Report ID: 20241226-1356-Pressler-Ct-S
Property: 1356 Pressler Ct S Salem OR 97306	Customer: Melissa Barwig	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

Buildings more than 25 years old may have areas that are not current in code requirements. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult during a one time inspection and in an occupied building. Sometimes buildings have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

Standards of Practice:

In Attendance:

Type of building:

Oregon State Standards of Practice	Seller and listing broker	Single Family (2 story)
Approximate Year Built: 1993	Temperature: Below 50	Weather: Rain
Ground/Soil surface condition: Wet	Rain in last 3 days: Yes	

Repair Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 FLASHINGS

Inspected

 The flashing at the end of the roof slope where the gutter meets the wall is called kick-out flashing and is not installed. This flashing prevents water from accessing the wall in this transitional zone and can prevent water related damage. Please go here for more information: [Kick out flashing](#)

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

-  (1) The downspouts were missing/disconnected and showed evidence of leakage at the front and rear of the building. The downspout should be properly secured to ensure proper collection and removal of storm water. A qualified contractor should inspect and repair as needed.
-  (2) The gutter appeared to overflow at the rear of the building. Gutters that drain poorly or clogged can lead to many costly problems such as deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

 (1) The siding at the exterior in areas has open butt joints. The caulking joints will need to be actively maintained to prevent moisture intrusion in these areas. A qualified contractor should inspect and repair as needed.

-  (2) The cement board siding at the exterior in areas (refer to picture(s)) was damaged. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-   (3) The siding on the building shows signs of cracking, shrinkage and damage. This siding appears to be a product manufactured by CertainTeed that has had a class action settlement in relation to this type of siding and damage. Repairs are needed, please refer to this site for more information:

<http://www.certainteedfibercementsettlement.com>

2.1 DOORS (Exterior)

Inspected, Repair or Replace

-  The door to attic was not an insulated, fire resistant and weather stripped door. This is an energy conservation and fire spread resistance issue. A qualified contractor should inspect and repair as needed.

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Inspected, Repair or Replace

-  (1) Consider sealing the wood surfaces on the exterior of the home. The horizontal rails will hold water and tend to wear quickly. Sealing these surfaces will prevent premature wear.
-  (2) The deck structure on the left side (facing front from the inside) were not installed properly. The joist hangers are using the wrong fasteners. A qualified contractor should repair or replace as needed.

Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>

-  (3) The wood floor on the deck at the left side (facing front from the inside) had some boards that were deteriorated. Further deterioration can occur if not repaired. A qualified contractor should repair or replace as needed.
-  (4) The patio roof cover was damaged at the left side (facing front). This damage should be repaired or replaced. A qualified contractor should inspect and repair as needed.
-  (5) The wood floor on the deck at the left side (facing front from the inside) was a pressure treated wood. Pressure treated wood should only be used for deck structure, as the chemicals and heavy metals that are used for treatment are toxic and should not come in direct contact with skin. A qualified contractor should repair or replace as needed.

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

-  The tree limbs that were in contact with roof or hanging near roof should be trimmed. The surface of the roofing may be damaged under the branches. This issue should be repaired by a licensed professional contractor.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

-  (1) The paint on eave was failing. I recommend prep and paint at the exterior in areas (refer to picture(s)).
-  (2) The fascia board at eave on the exterior in areas (refer to picture(s)) were deteriorated. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.

3. Garage

3.5 GARAGE DOOR OPERATORS

Inspected

-  The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>

4. Interiors

4.0 CEILINGS

Inspected, Normal Routine Maintenance Item



The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected



The stairs to the garage/laundry were not uniform in "riser height" and were a tripping hazard. A fall or injury could occur if not corrected. A qualified contractor should inspect and repair as needed.



4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace



The door did not have a door knob that locked at the upstairs hall bath. This is a privacy issue and is for your information. A qualified contractor should inspect and repair as needed.

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected



One window was showed water stains/drip marks at the garage stairs. This may indicate chronic leakage at this window. Although the stains are subtle they may indicate a continued building envelope breach and the water in the wall cavity may be causing structural deterioration. A qualified contractor should inspect and repair as needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace



(1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.



(2) The plumbing waste line leaked at the hall bath sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



(3) The waste line was leaking at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace



(1) The sink faucet leaked at the upstairs hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



(2) The jetted tub was leaking at the master bath. Repairs are needed A qualified, licensed professional contractor should repair as necessary.



(4) The water supply line has a corroded wet joint at connection at the water heater. Monitor this area and repair if needed. I recommend a licensed plumber inspect further and repair as necessary.

7. Electrical System

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR

AMPERAGE AND VOLTAGE**Inspected, Repair or Replace**

-  (1) Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>
-  (2) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.
-  (3) Multi circuit wiring noted in the main panel. These circuits are very common for areas that have two different circuits located in the same area. The electrician saves money on wires; instead of pulling two 14-gauge 2-wire wires they pull one 14-gauge 3-wire. For normal operation this is not an issue and only under specific and unusual circumstances would this be an issue. A handle tie that trips both legs of the circuit if work is done on one of the circuits or if there is an over current issue would improve the safety. A qualified, professional electrician should be consulted regarding the repair.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)**Inspected, Repair or Replace**

-  (1) The light fixtures did not work in various locations. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.
-  (2) The ceiling fan is controlled by a pull chain only in the living room. This is for your information. I recommend repair as needed.
-  (3) The light fixture was missing cover at the master bedroom closet. This is for your information. I recommend repair as needed.
-  (4) The wall switch had a damaged "cover-plate" at the crawlspace. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)**Inspected, Repair or Replace**

-  (1) The GFCI (Ground Fault Circuit Interrupter) outlet at the master bath would not "trip" when tested.  This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.
-  (2) The addition of GFCI's to the building in the garage would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

7.7 SMOKE DETECTORS**Inspected, Repair or Replace**

-  The smoke detector(s) were older than 10 years and were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)

8. Heating / Central Air Conditioning**8.0 HEATING EQUIPMENT****Inspected, Repair or Replace**

-  (1) The outside HEAT PUMP unit did not appear to be wired to function in heat mode. This is for your

-  information. A qualified HVAC person should inspect further and repair or replace as needed.
-  (2) The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Not Inspected, Repair or Replace

-  (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).
-  (2) The compressor was not level. This can cause damage to the unit or shorten its life span. I recommend service or repair as needed.
-  (5) The AC unit does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

9. Insulation and Ventilation

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

-  The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Inspected, Monitor

-  The roof vents were partially blocked due to poor installation at the rear of the building. This condition may prevent moist air in the winter and hot air in the summer from exiting the attic properly. A qualified contractor should inspect and repair as needed.

10. Built-In Kitchen Appliances

10.1 INSTALLED DISHWASHER

Not Inspected, Repair or Replace

-  (1) The dishwasher was not tested. The owner stated that the door leaked last time the dishwasher was operated. The bottom spray arm was damaged and this may be the cause of the leakage. This should be repaired as necessary.
-  (2) The dishwasher rack vinyl coating was damaged and the steel frame has started to rust. I recommend repair as necessary.

10.2 RANGES/OVENS/COOKTOPS

Inspected, Repair or Replace

-  The light bulb for oven did not work when tested. I recommend repair as needed.

10.3 RANGE HOOD/KITCHEN VENT

Inspected, Repair or Replace

-  (1) The downdraft fan exhaust hood was missing its screen. I recommend repair or replace as needed.
-  (2) The grease filter had crust or grime build-up. I recommend repair or replace as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground

items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Safety Issues

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The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

4. Interiors

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected

 The stairs to the garage/laundry were not uniform in "riser height" and were a tripping hazard. A fall or injury could occur if not corrected. A qualified contractor should inspect and repair as needed.

7. Electrical System

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

 (1) The GFCI (Ground Fault Circuit Interrupter) outlet at the master bath would not "trip" when tested. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.

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inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Monitor

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2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

 (3) The siding on the building shows signs of cracking, shrinkage and damage. This siding appears to be a product manufactured by Certainteed that has had a class action settlement in relation to this type of siding and damage. Repairs are needed, please refer to this site for more information:

<http://www.certainteedfibercementsettlement.com>

4. Interiors

4.0 CEILINGS

Inspected, Normal Routine Maintenance Item

  The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Inspected, Monitor

 The inspection of the under sink areas were limited by storage. This is for your information.

5. Structural Components

5.2 WALLS (Structural)

Inspected, Monitor

- 🔍 The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Monitor

- 🔍 Water stains are on the roofing structure. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

- 🔍 (3) The refrigerator ice/water supply line could not observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace

- 🔧 🔍 (2) The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.
- 🔍 (3) The furnace was approaching the end of it's useful life and may last a few years more, but maybe not. Sometimes units can fail shortly after an inspection during the seasonal change from mild to cold weather. It cannot be determined how long your furnace will last before replacement is necessary.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Not Inspected, Repair or Replace

- 🔍 🔧 (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).
- 🔍 (3) The air conditioning system currently uses R-22 type of refrigerant. If your air conditioning fails it might be subject to the following. On January 1, 2010, the Environmental Protection Agency placed into effect a ban on the manufacture of new HVAC systems using R-22 refrigerant. General phase out of R-22 refrigerant is currently estimated to be complete by the year 2020, at which time chemical manufacturers will no longer be able to produce R-22 to service existing air conditioners and heat pumps. Existing units using R-22 can continue to be serviced with R-22 but it is expected to gradually become expensive and difficult to obtain. New, high-energy efficient systems, will utilize new non-ozone-depleting refrigerants such as 410-A. Unfortunately, 410-A cannot be utilized in some older systems which previously used R-22 without making some substantial and costly changes to system components.
- 🔍 (4) The condenser outside (AC unit) was very old and may last a few years more, but maybe not. I have seen units fail shortly after a home inspection during the seasonal change from mild to hot weather. I cannot determine how long your AC will last before a replacement is necessary.

9. Insulation and Ventilation

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Inspected, Monitor

-  The roof vents were partially blocked due to poor installation at the rear of the building. This condition may prevent moist air in the winter and hot air in the summer from exiting the attic properly. A qualified contractor should inspect and repair as needed.

9.5 RADON MITIGATION SYSTEM

Not Present

-  You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

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Normal Routine Maintenance

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The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

4. Interiors

4.0 CEILINGS

Inspected, Normal Routine Maintenance Item

 The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.

10. Built-In Kitchen Appliances

10.3 RANGE HOOD/KITCHEN VENT

Inspected, Repair or Replace

 (2) The grease filter had crust or grime build-up. I recommend repair or replace as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation,

move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



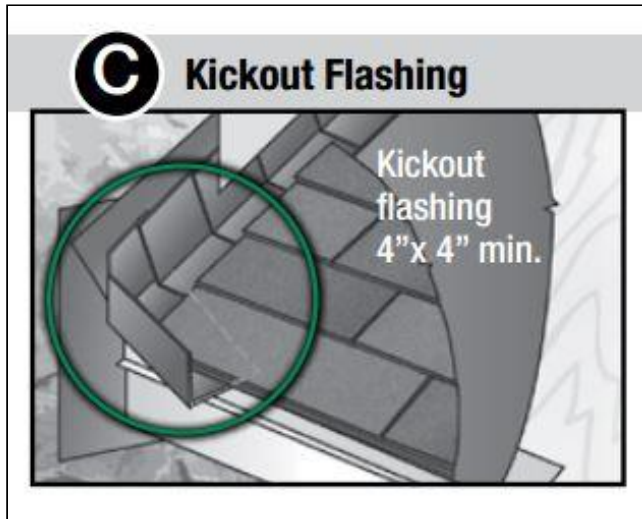
Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Masonry Metal Flue Pipe		

Inspection Items

- 1.0 ROOF COVERINGS
Comments: Inspected
- 1.1 FLASHINGS
Comments: Inspected

- 🔧 The flashing at the end of the roof slope where the gutter meets the wall is called kick-out flashing and is not installed. This flashing prevents water from accessing the wall in this transitional zone and can prevent water related damage. Please go here for more information: [Kick out flashing](#)



1.1 Item 1(Picture)



1.1 Item 2(Picture)



1.1 Item 3(Picture)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected, Repair or Replace

🔧 (1) The downspouts were missing/disconnected and showed evidence of leakage at the front and rear of the building. The downspout should be properly secured to ensure proper collection and removal of storm water. A qualified contractor should inspect and repair as needed.



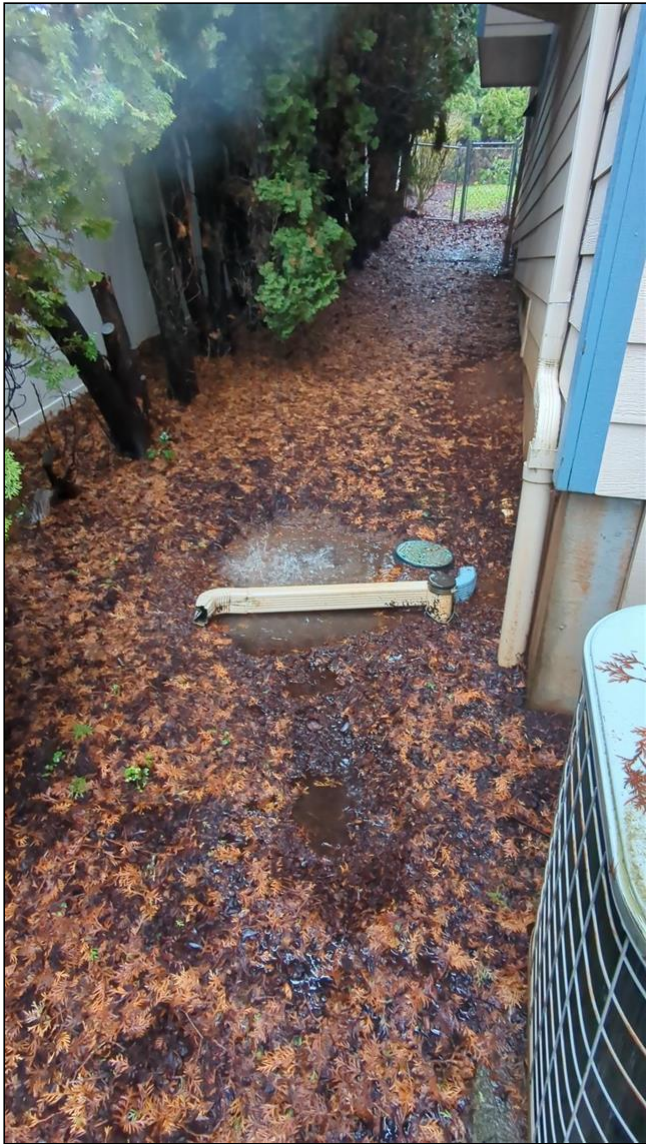
1.3 Item 1(Picture)



1.3 Item 2(Picture)



1.3 Item 3(Picture)



1.3 Item 4(Picture)

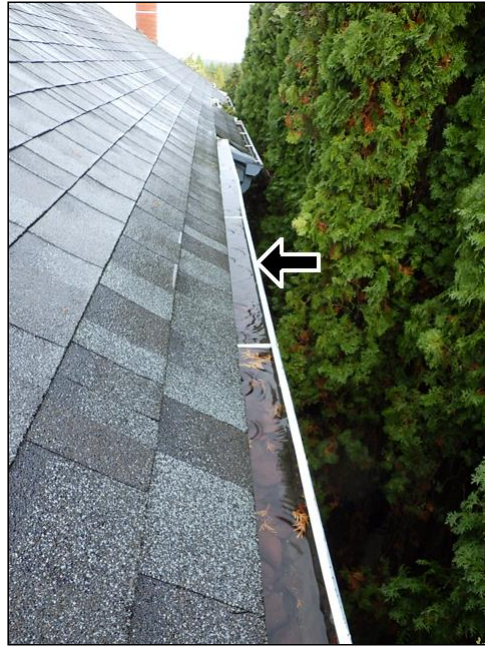


1.3 Item 5(Picture)

- 🔧 (2) The gutter appeared to overflow at the rear of the building. Gutters that drain poorly or clogged can lead to many costly problems such as deterioration of fascia, soffit or roof edge. It can also cause gutters to pull loose and lead to possible water intrusion. A qualified contractor should inspect and repair as needed.



1.3 Item 6(Picture)



1.3 Item 7(Picture)

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Cement-Fiber	Composite
Driveway:	Retaining wall that Affects the Building:	
Concrete	None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

 (1) The siding at the exterior in areas has open butt joints. The caulking joints will need to be actively maintained to prevent moisture intrusion in these areas. A qualified contractor should inspect and repair as needed.



2.0 Item 1(Picture)

- 🔧 (2) The cement board siding at the exterior in areas (refer to picture(s)) was damaged. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 2(Picture)



2.0 Item 3(Picture)

- 🔍 (3) The siding on the building shows signs of cracking, shrinkage and damage. This siding appears to be a product manufactured by Certainteed that has had a class action settlement in relation to this type of siding and damage. Repairs are needed, please refer to this site for more information:

<http://www.certainteedfibercementsettlement.com>



2.0 Item 4(Picture)



2.0 Item 5(Picture)



2.0 Item 6(Picture)



2.0 Item 7(Picture)



2.0 Item 8(Picture)



2.0 Item 9(Picture)



2.0 Item 10(Picture)

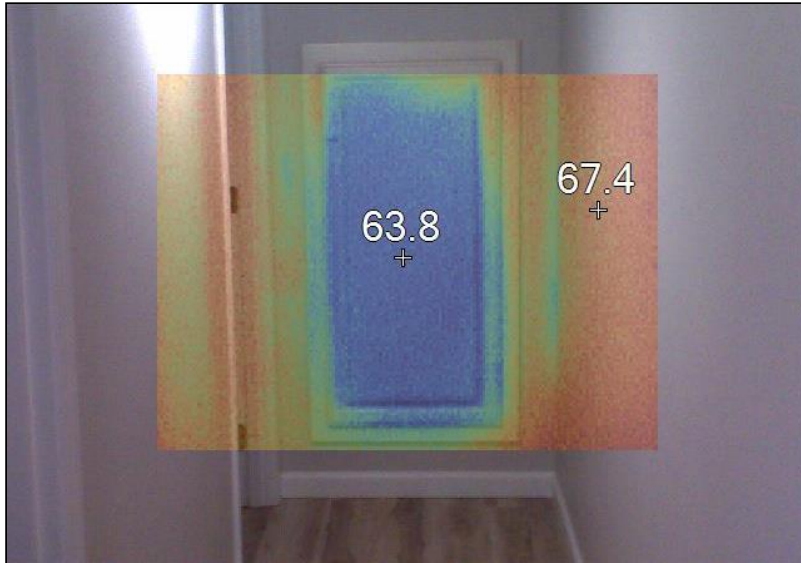
2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

- 🔧 The door to attic was not an insulated, fire resistant and weather stripped door. This is an energy conservation and fire spread resistance issue. A qualified contractor should inspect and repair as needed.



2.1 Item 1(Picture)



2.1 Item 2(Picture)

2.2 WINDOWS

Comments: Inspected

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected, Repair or Replace

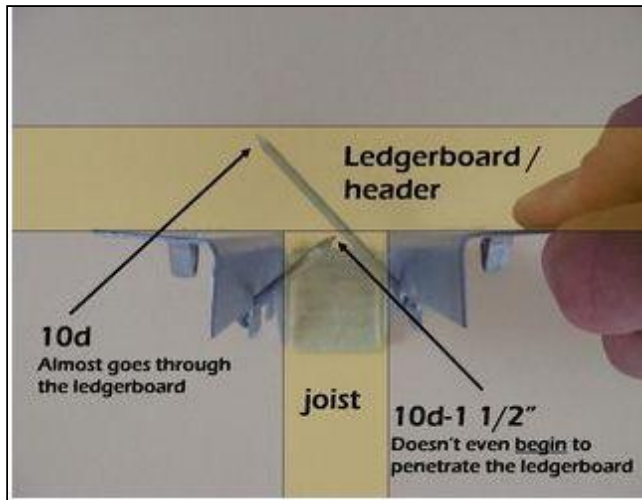
- 🔧 (1) Consider sealing the wood surfaces on the exterior of the home. The horizontal rails will hold water and tend to wear quickly. Sealing these surfaces will prevent premature wear.



2.3 Item 1(Picture)

- 🔧 (2) The deck structure on the left side (facing front from the inside) were not installed properly. The joist hangers are using the wrong fasteners. A qualified contractor should repair or replace as needed.

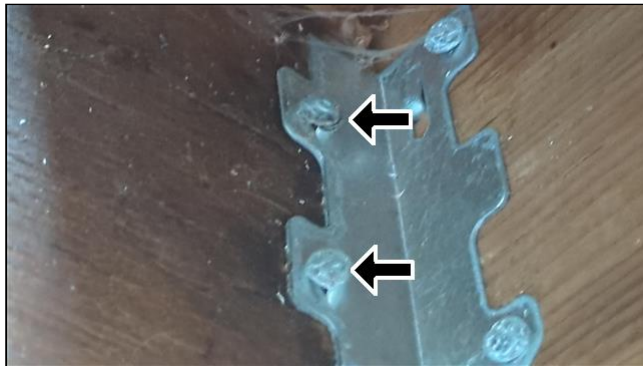
Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>



2.3 Item 2(Picture)



2.3 Item 3(Picture)



2.3 Item 4(Picture)

- (3) The wood floor on the deck at the left side (facing front from the inside) had some boards that were deteriorated. Further deterioration can occur if not repaired. A qualified contractor should repair or replace as needed.



2.3 Item 5(Picture)



2.3 Item 6(Picture)

🔧 (4) The patio roof cover was damaged at the left side (facing front). This damage should be repaired or replaced. A qualified contractor should inspect and repair as needed.

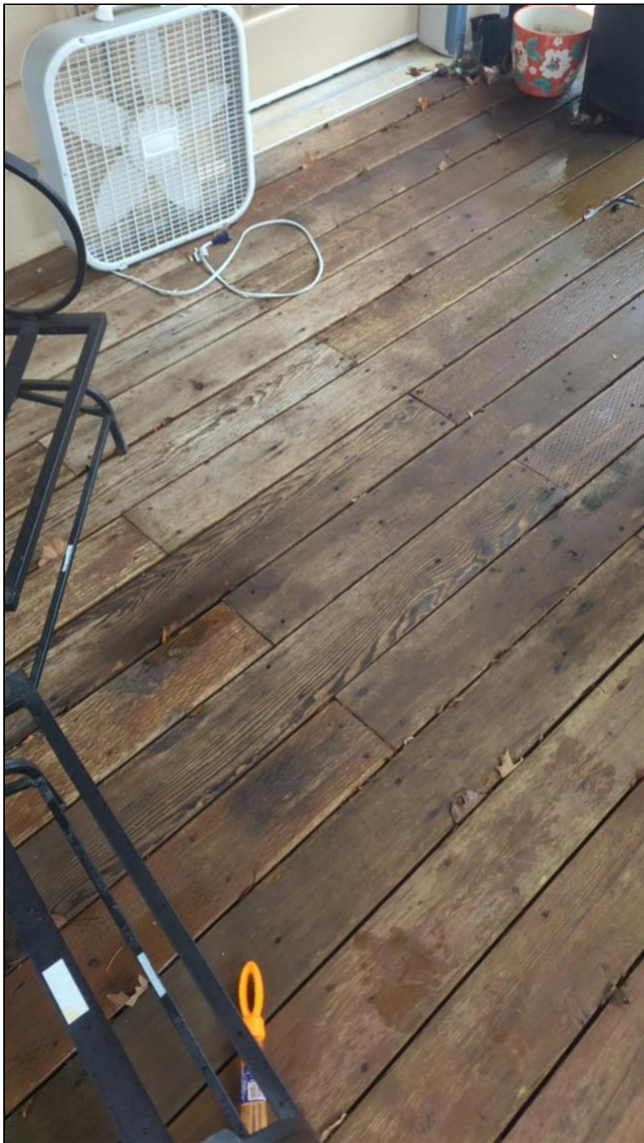


2.3 Item 7(Picture)



2.3 Item 8(Picture)

🔧 (5) The wood floor on the deck at the left side (facing front from the inside) was a pressure treated wood. Pressure treated wood should only be used for deck structure, as the chemicals and heavy metals that are used for treatment are toxic and should not come in direct contact with skin. A qualified contractor should repair or replace as needed.



2.3 Item 9(Picture)



2.3 Item 10(Picture)

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected, Repair or Replace

- 🔧 The tree limbs that were in contact with roof or hanging near roof should be trimmed. The surface of the roofing may be damaged under the branches. This issue should be repaired by a licensed professional contractor.



2.4 Item 1(Picture)

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

- 🔧 (1) The paint on eave was failing. I recommend prep and paint at the exterior in areas (refer to picture(s)).



2.5 Item 1(Picture)

- 🔧 (2) The fascia board at eave on the exterior in areas (refer to picture(s)) were deteriorated. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.



2.5 Item 2(Picture)



2.5 Item 3(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



The inspection of the garage was limited by storage. Significant areas could not be viewed. If additional inspections or return trips are desired additional fees will apply.

Styles & Materials

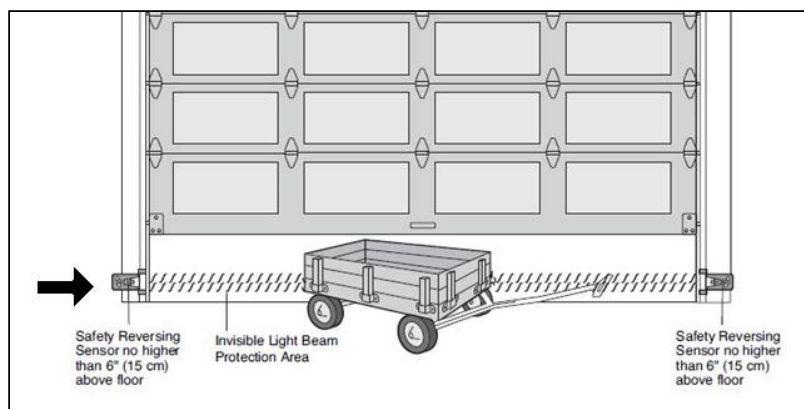
Garage Door Type: Two automatic	Garage Door Material: Metal Insulated	Auto-opener Manufacturer: WAYNE-DALTON
Did the Garage Door Opener Reverse when met with Resistance?: Yes		

Inspection Items

- 3.0 GARAGE CEILINGS
Comments: Inspected
- 3.1 GARAGE WALLS
Comments: Inspected
- 3.2 GARAGE FLOOR
Comments: Inspected
- 3.3 GARAGE DOOR (S)
Comments: Inspected
- 3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING
Comments: Inspected
- 3.5 GARAGE DOOR OPERATORS
Comments: Inspected

- ⚡ The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>



3.5 Item 1(Picture)



3.5 Item 2(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

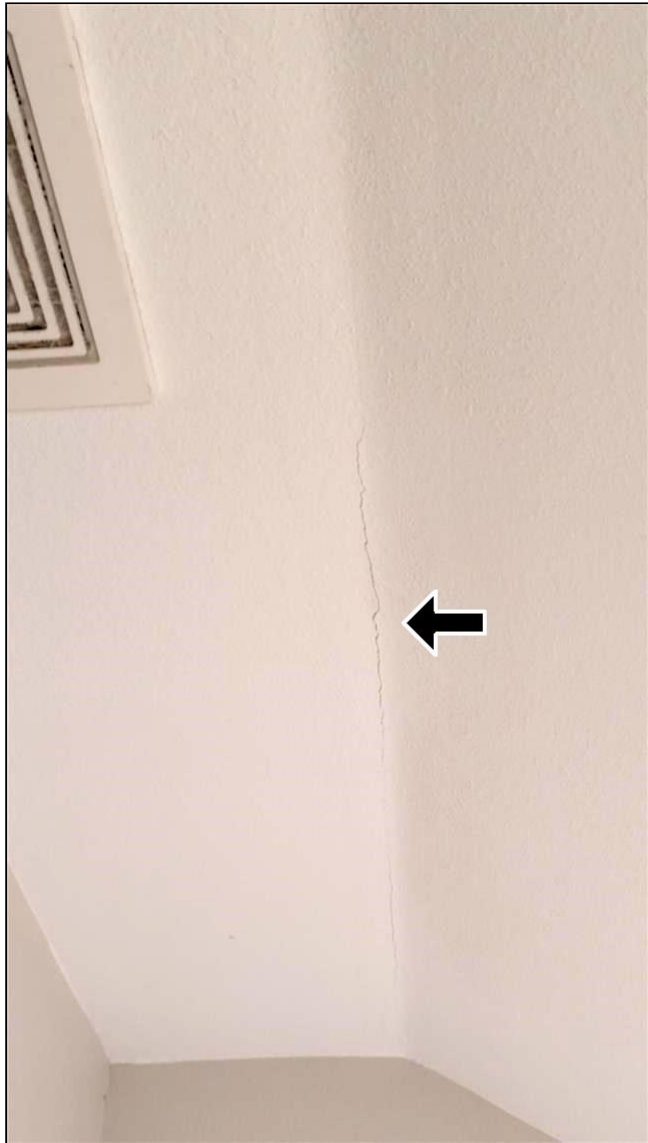
Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Laminate Ceramic Tile
Interior Doors: Hollow core	Window Types: Thermal/Insulated Single-hung Vinyl Frame	Cabinetry: Wood
Countertop: Ceramic Tile		

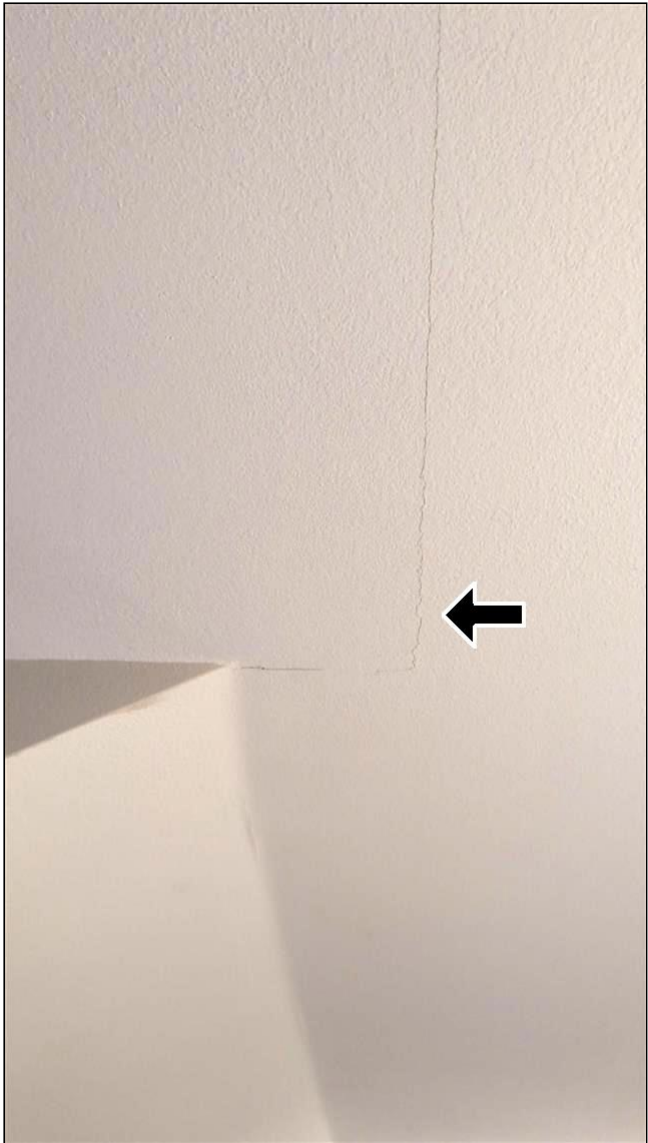
Inspection Items

4.0 CEILINGS
Comments: Inspected, Normal Routine Maintenace Item

 The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.



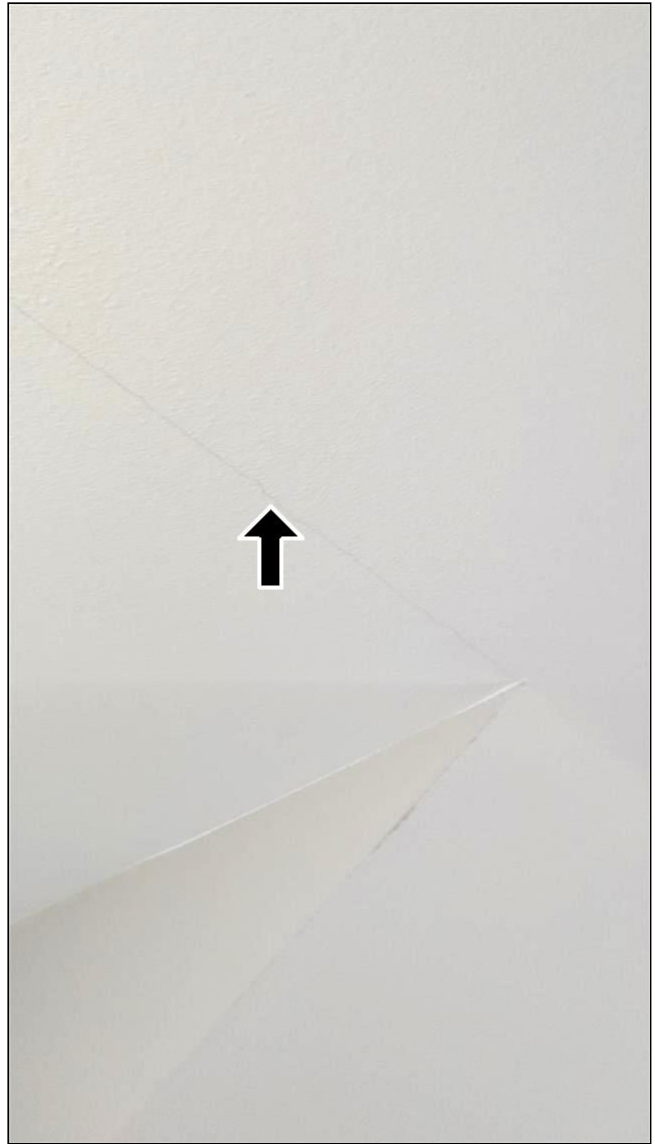
4.0 Item 1(Picture)



4.0 Item 2(Picture)



4.0 Item 3(Picture)



4.0 Item 4(Picture)

4.1 WALLS

Comments: Inspected

4.2 FLOORS

Comments: Inspected

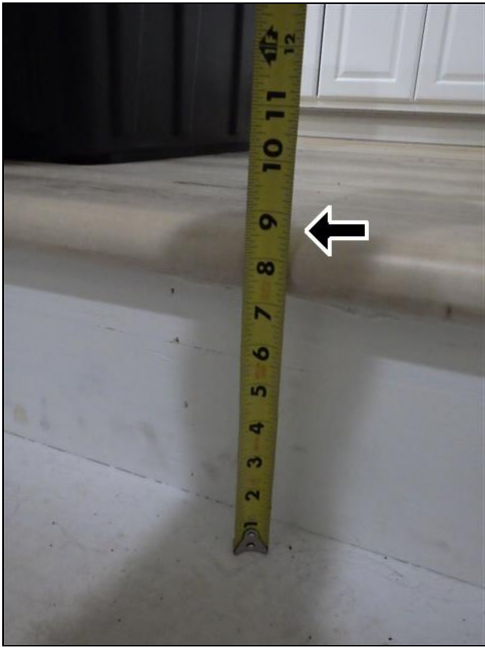
4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

 The stairs to the garage/laundry were not uniform in "riser height" and were a tripping hazard. A fall or injury could occur if not corrected. A qualified contractor should inspect and repair as needed.



4.3 Item 1(Picture)



4.3 Item 2(Picture)

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected, Monitor

🔍 The inspection of the under sink areas were limited by storage. This is for your information.

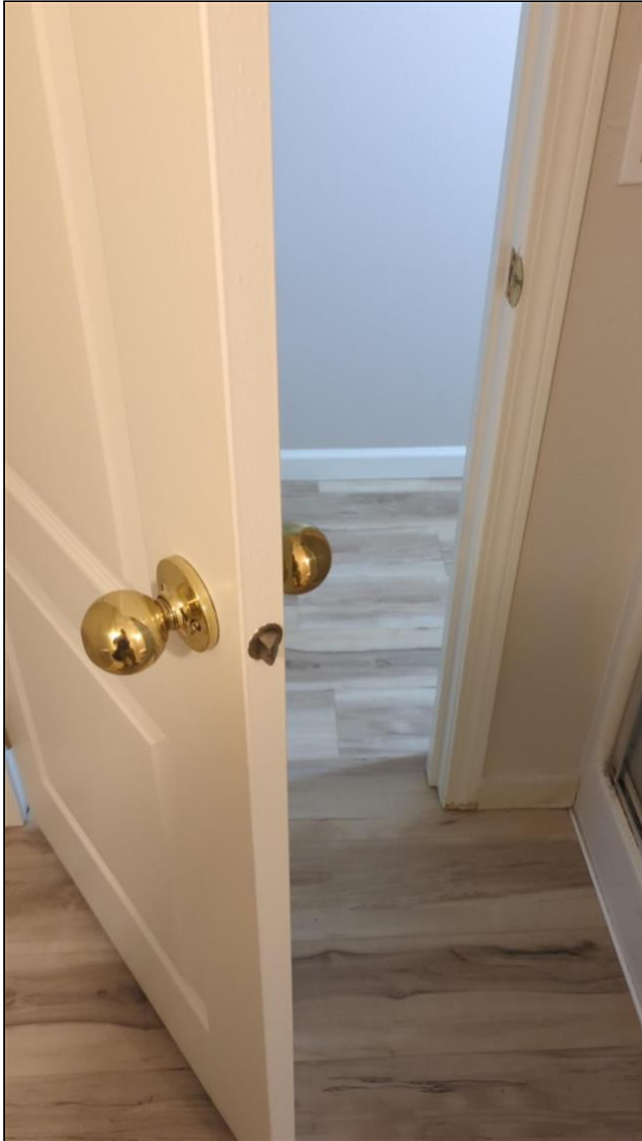


4.4 Item 1(Picture)

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 The door did not have a door knob that locked at the upstairs hall bath. This is a privacy issue and is for your information. A qualified contractor should inspect and repair as needed.



4.5 Item 1(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

🔧 One window was showed water stains/drip marks at the garage stairs. This may indicate chronic leakage at this window. Although the stains are subtle they may indicate a continued building envelope breach and the water in the wall cavity may be causing structural deterioration. A qualified contractor should inspect and repair as needed.



4.6 Item 1(Picture)



4.6 Item 2(Picture)

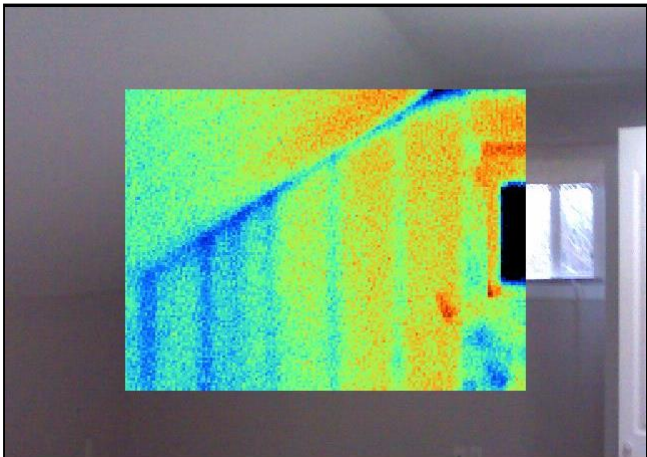


4.6 Item 3(Picture)

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe CrawlSpace: Walked	Floor Structure: Wood beams
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Wood Rafters
Roof-Type: Clipped Gable	Method used to observe attic: From entry	

Inspection Items

- 5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES
- Comments: Inspected
- 5.1 CRAWLSPACE MOISTURE
- Comments: Inspected
- 5.2 WALLS (Structural)
- Comments: Inspected, Monitor

- 🔍 The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.



5.2 Item 1(Picture)

5.3 COLUMNS OR PIERS

Comments: Inspected

5.4 FLOORS (Structural)

Comments: Inspected

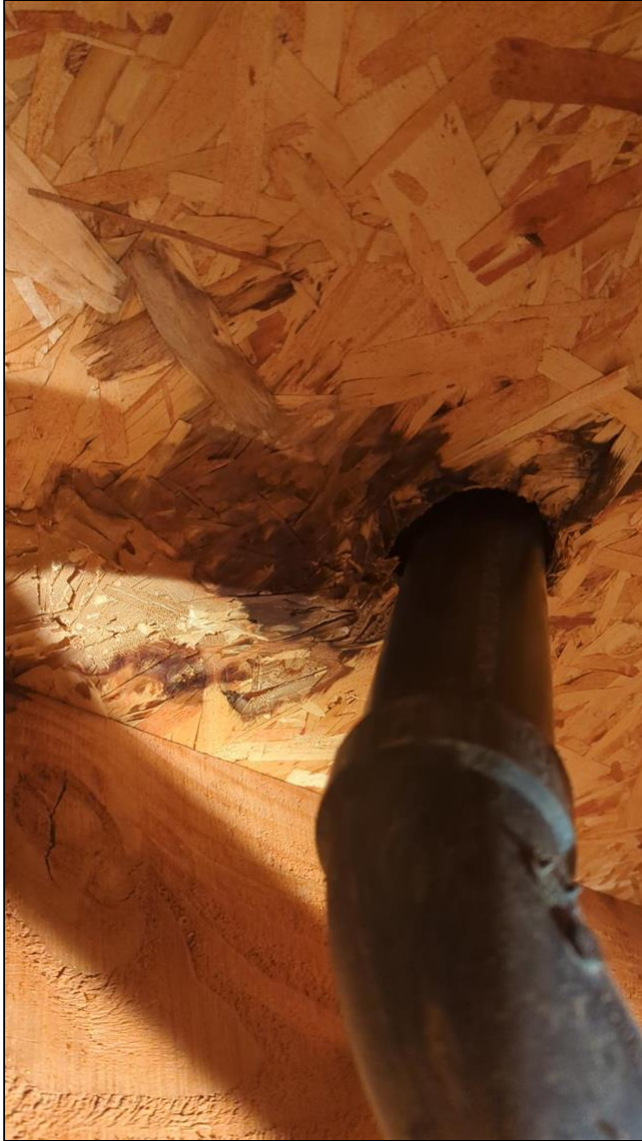
5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Monitor

- 🔍 Water stains are on the roofing structure. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.



5.6 Item 1(Picture)

5.7 WOOD DESTROYING ORGANISMS

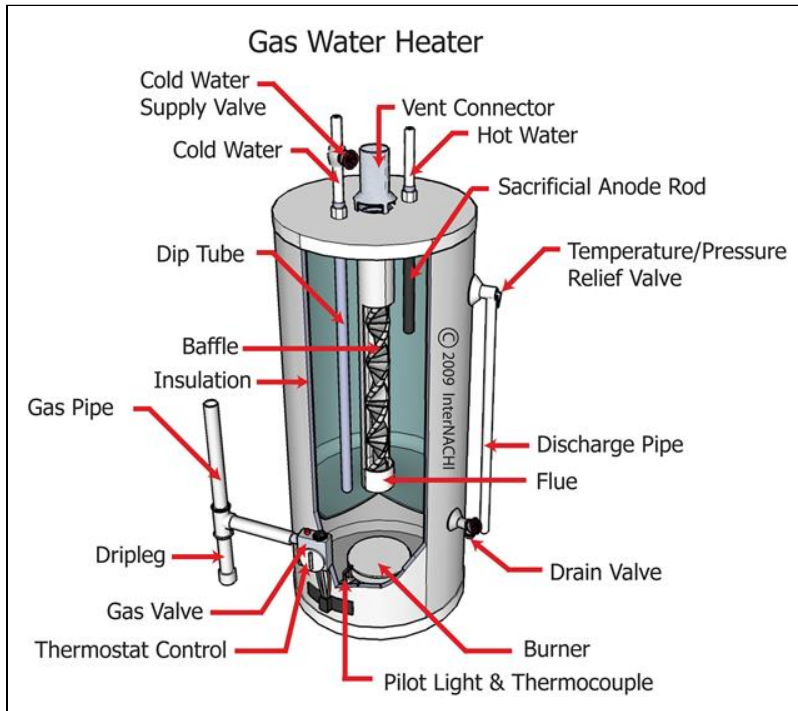
Comments: Inspected

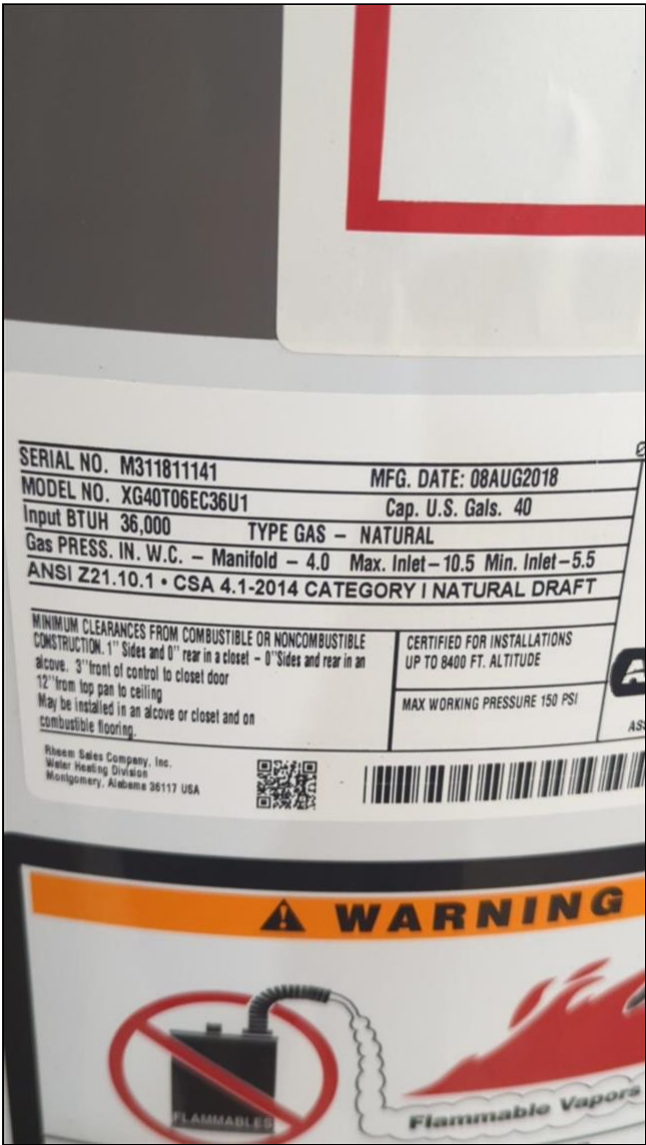
No activity could be observed at the time of the inspection.

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





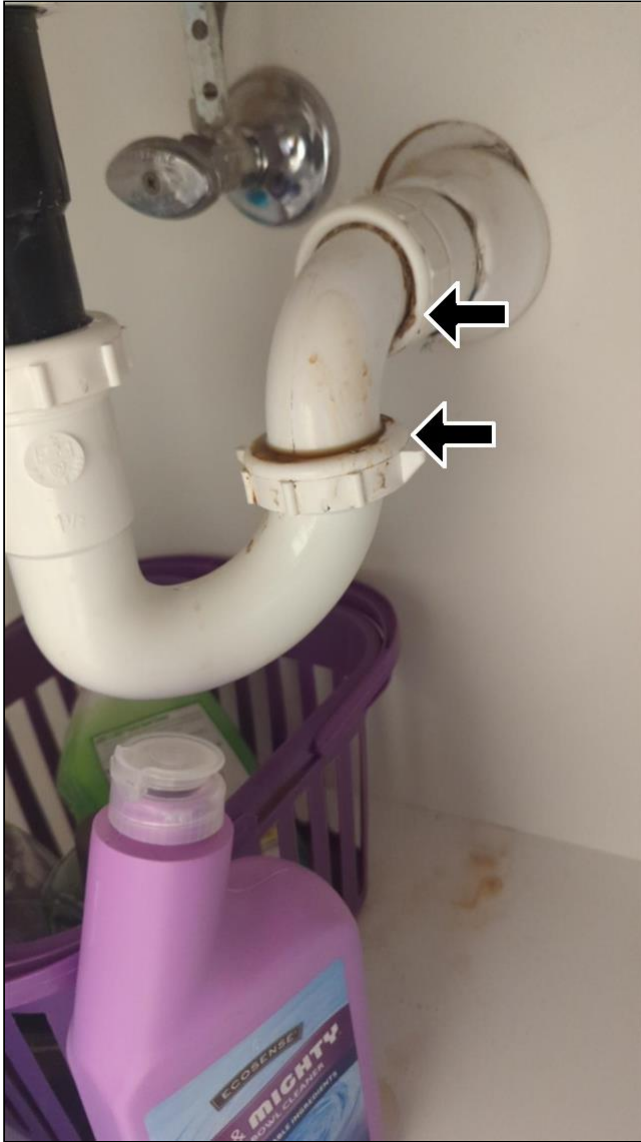
Styles & Materials

Water Source:	Plumbing Water Supply (into building):	Plumbing Water Distribution (inside building):
Public	Copper	Copper
Washer Drain Size:	Plumbing Waste/Vent:	Water Heater Power Source:
2" Diameter	PVC	Gas
Water Heater Capacity:	Manufacturer:	Approximate Year of the Water Heater(s):
40 Gallon	RHEEM	2018

Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS
Comments: Inspected, Repair or Replace

- 🔧 (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
- 🔧 (2) The plumbing waste line leaked at the hall bath sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 1(Picture)

- 🔧 (3) The waste line was leaking at the kitchen sink. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 2(Picture)

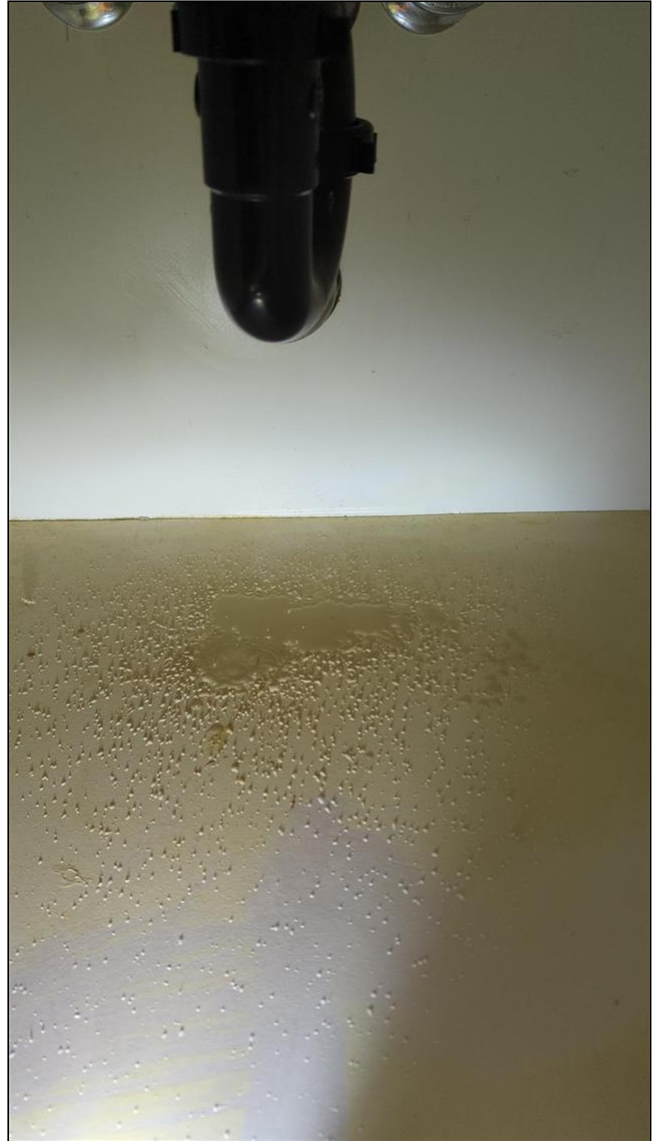
6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The sink faucet leaked at the upstairs hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 1(Picture)



6.1 Item 2(Picture)

- 🔧 (2) The jetted tub was leaking at the master bath. Repairs are needed A qualified, licensed professional contractor should repair as necessary.



6.1 Item 3(Picture)

- 🔍 (3) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.
- 🔧 (4) The water supply line has a corroded wet joint at connection at the water heater. Monitor this area and repair if needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 4(Picture)

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut offs were located outside in the ground and in the crawlspace.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

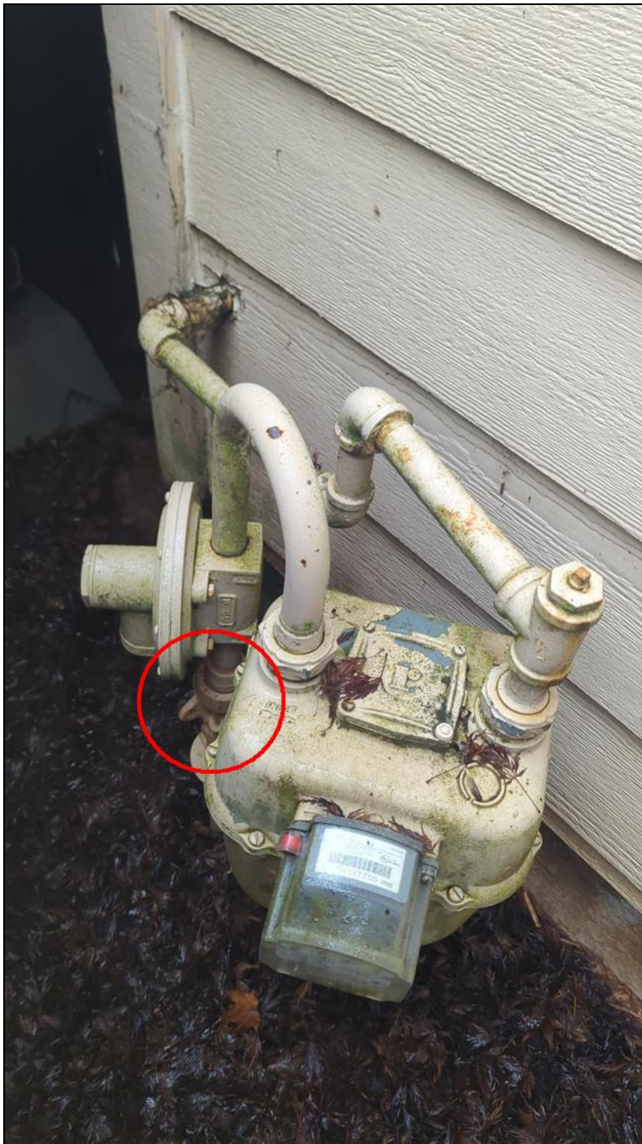
6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside

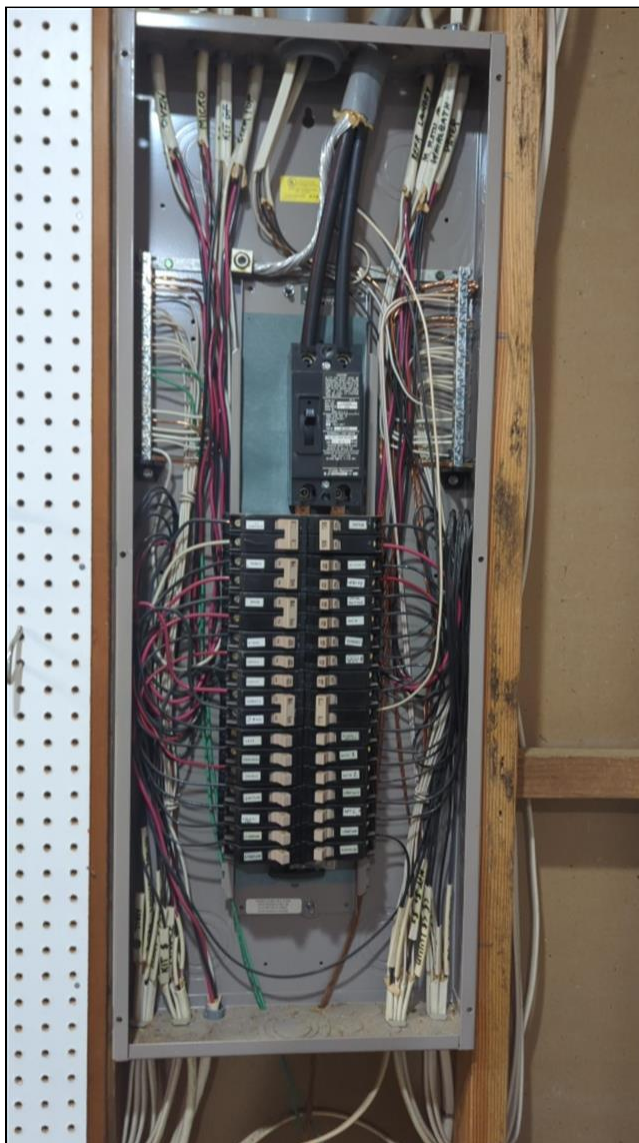


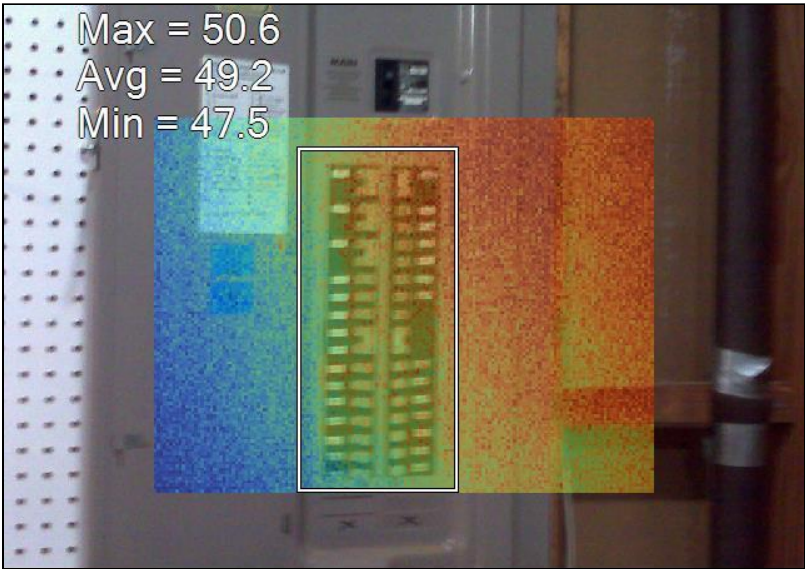
6.5 Item 1(Picture)

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load

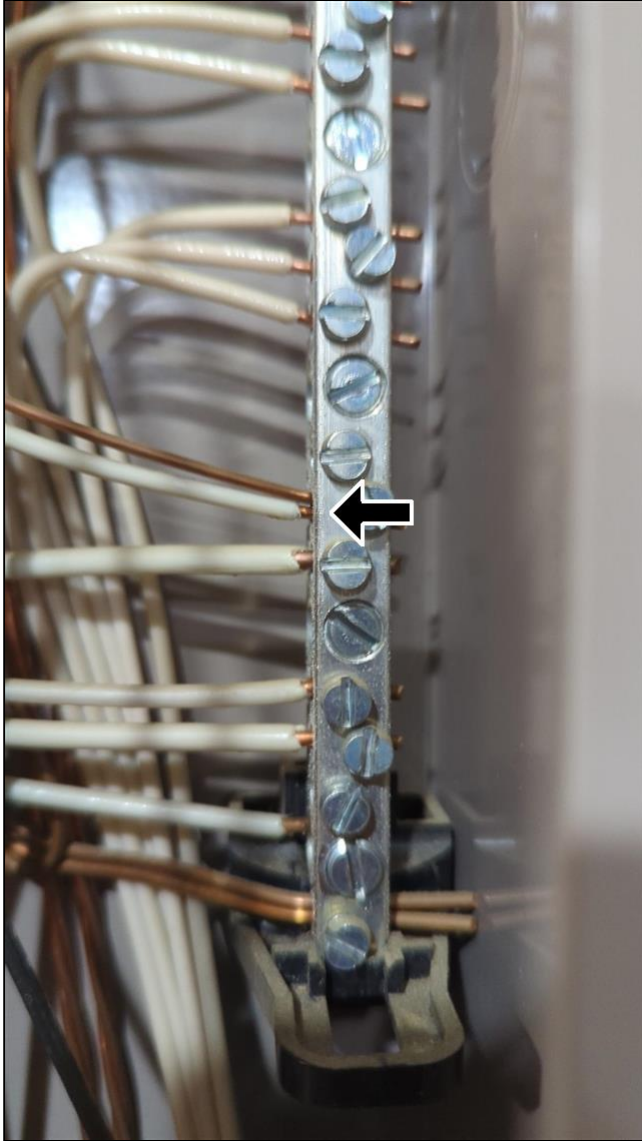
Styles & Materials

Electrical Service Conductors: Below ground Aluminum 240 volts	Panel capacity: 200 AMP	Electric Panel Manufacturer: CUTLER HAMMER
Panel Type: Circuit breakers	Sub Panel Manufacturer: None	Branch wire 15 and 20 AMP: Copper
Wiring Methods: Non Metallic sheathed Cable		

Inspection Items

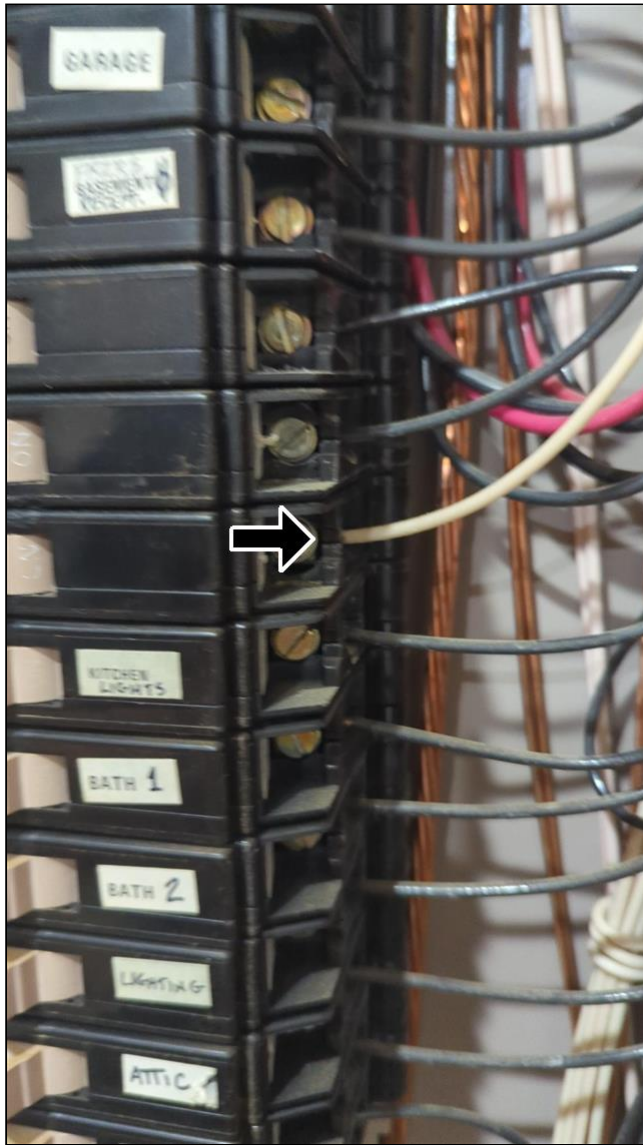
7.0 SERVICE ENTRANCE CONDUCTORS Comments: Inspected
7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS Comments: Inspected
7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE Comments: Inspected, Repair or Replace

- ⚡ (1) Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>

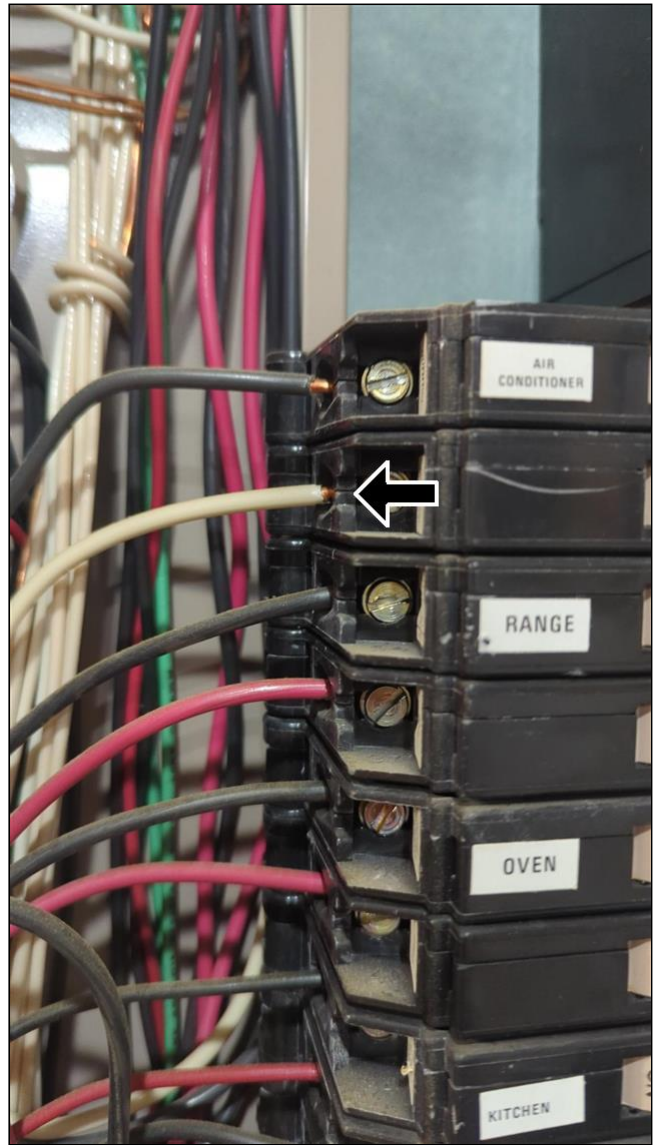


7.2 Item 1(Picture)

- ⚡ (2) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.

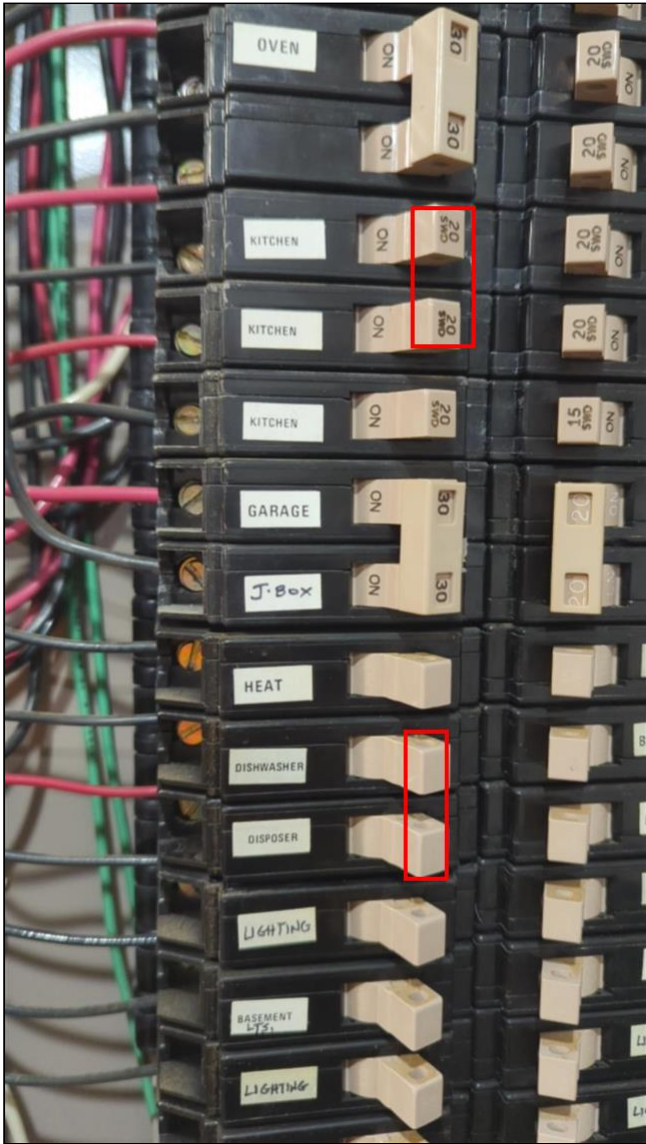


7.2 Item 2(Picture)

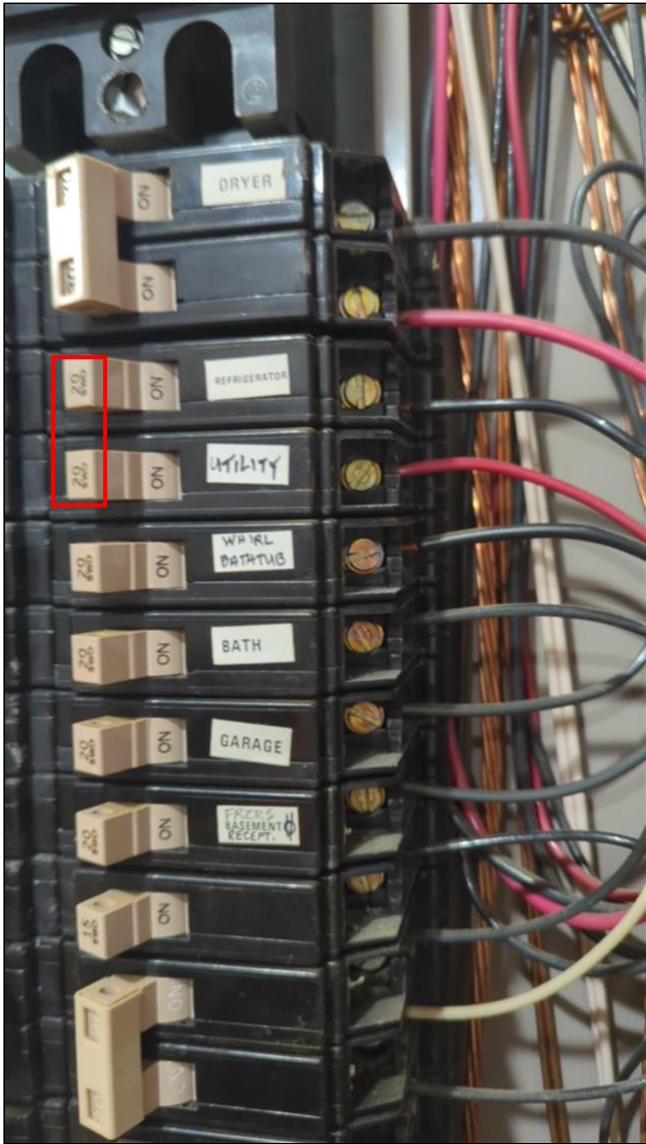


7.2 Item 3(Picture)

🔧 (3) Multi circuit wiring noted in the main panel. These circuits are very common for areas that have two different circuits located in the same area. The electrician saves money on wires; instead of pulling two 14-gauge 2-wire wires they pull one 14-gauge 3-wire. For normal operation this is not an issue and only under specific and unusual circumstances would this be an issue. A handle tie that trips both legs of the circuit if work is done on one of the circuits or if there is an over current issue would improve the safety. A qualified, professional electrician should be consulted regarding the repair.



7.2 Item 4(Picture)



7.2 Item 5(Picture)

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)
Comments: Inspected, Repair or Replace

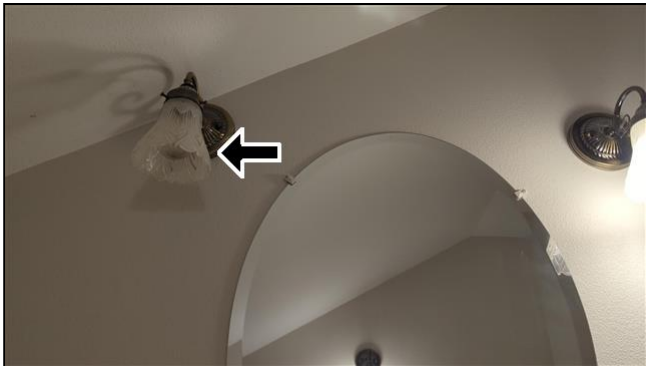
🔧 (1) The light fixtures did not work in various locations. This is for your information. Check the bulbs first and if the bulbs are not the issue an electrician should be consulted.



7.3 Item 1(Picture)



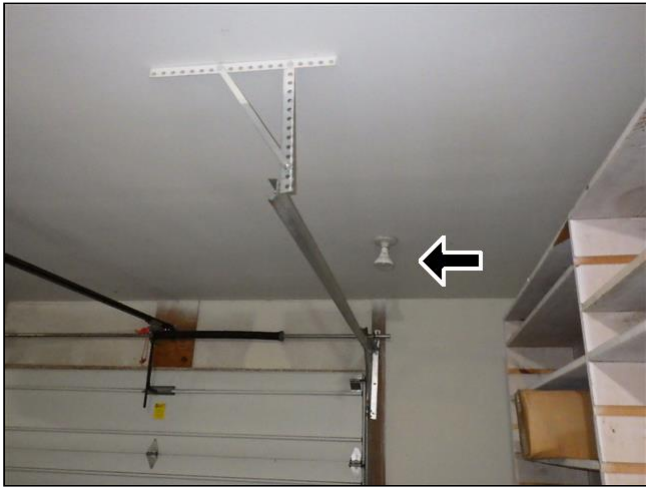
7.3 Item 2(Picture)



7.3 Item 3(Picture)



7.3 Item 4(Picture)



7.3 Item 5(Picture)

- 🔧 (2) The ceiling fan is controlled by a pull chain only in the living room. This is for your information. I recommend repair as needed.



7.3 Item 6(Picture)

- 🔧 (3) The light fixture was missing cover at the master bedroom closet. This is for your information. I recommend repair as needed.



7.3 Item 7(Picture)

- 🔧 (4) The wall switch had a damaged "cover-plate" at the crawlspace. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 8(Picture)

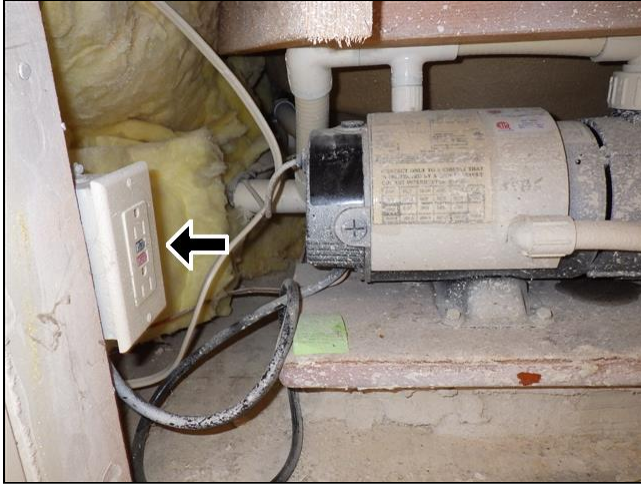
7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

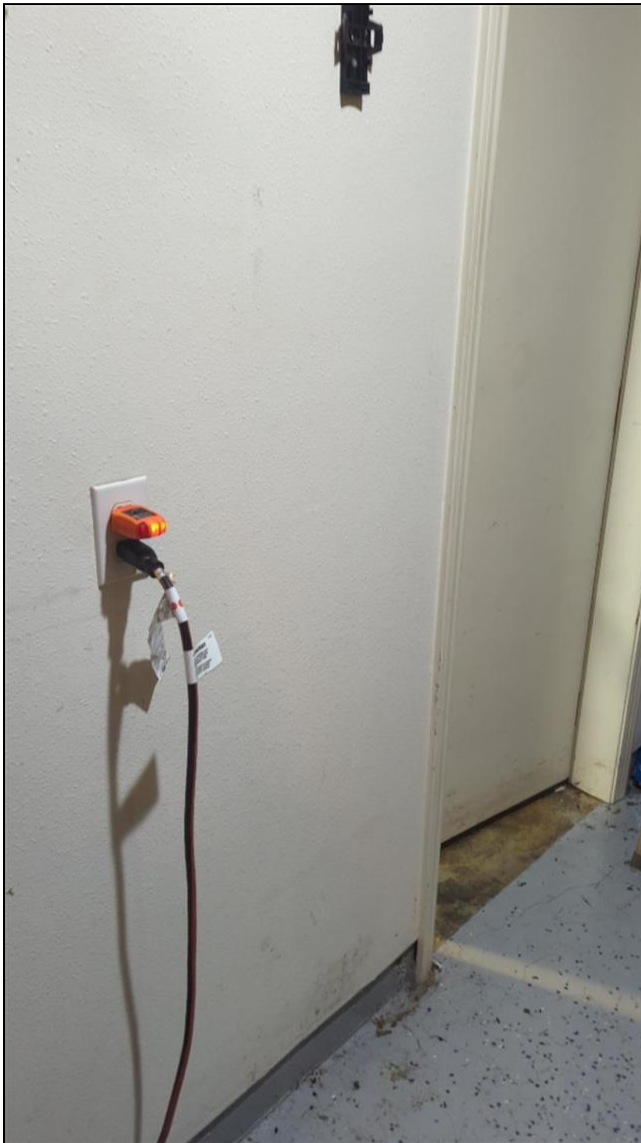
- 🔧 (1) The GFCI (Ground Fault Circuit Interrupter) outlet at the master bath would not "trip" when tested.
- ⚠️ This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.



7.5 Item 1(Picture)

- 🔧 (2) The addition of GFCI's to the building in the garage would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf



7.5 Item 2(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

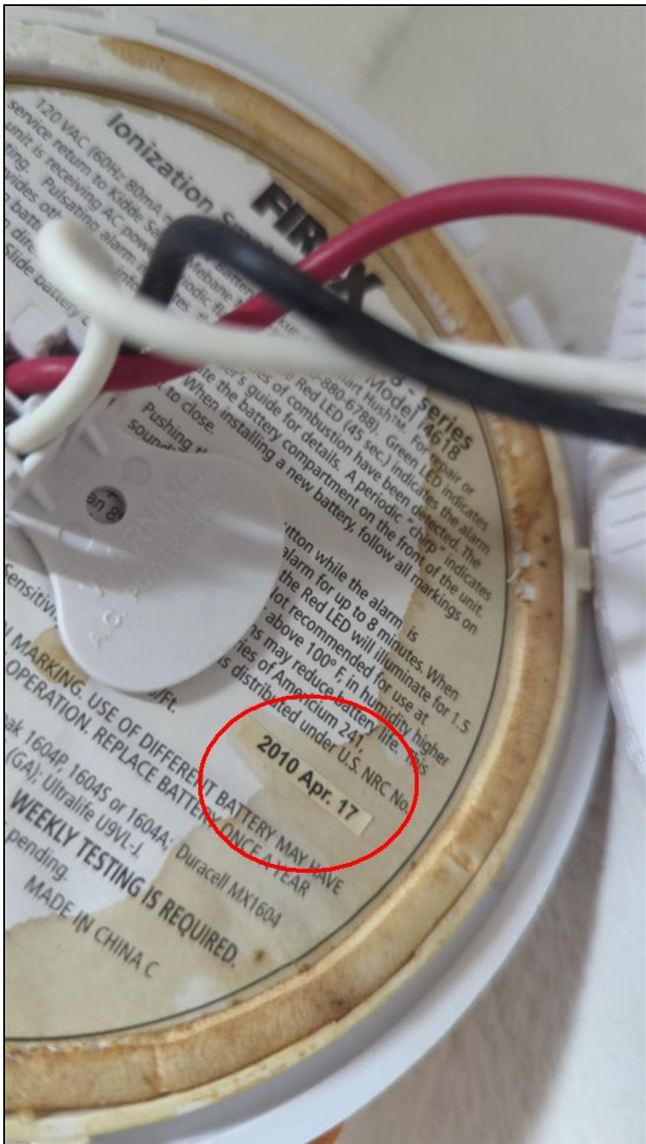
The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected, Repair or Replace

🔧 The smoke detector(s) were older than 10 years and were originally wired-in. Smoke detectors that were once wired-in must be replaced with wired-in units equipped with a hush feature and a battery back up. Replacing a wired-in unit with a solely battery operated model is not acceptable. A qualified contractor should inspect and repair as needed.

Refer to the state rule for more information: [\(ORS 479.260\)](#)



7.7 Item 1(Picture)

Oregon law regarding smoke alarms - ORS 479.250 to 479.300

(This is a summary and not a substitute for reading the entire statute.)

Technical requirements for alarms	Maintenance
ORS 479.297 All ionization smoke alarms sold in Oregon 1) must have a hush feature enabling a person to silence the alarm for a period of not more than fifteen minutes; and,	1) Monthly - test alarm and vacuum to remove dust and cobwebs. 2) Replace alarms ten years old or older because the sensor wears out. Look for the date stamp on the back of the alarm.

7.7 Item 2(Picture)

packaged and sold with a ten-year battery.

Smoke alarms exempt from hush feature and ten-year battery requirements

- 1) Photoelectric alarms (both single and hard-wired)
- 2) Multipurpose alarms such as combination smoke and fire/carbon monoxide alarms
- 3) Fire alarm systems tied to police, fire, private alarm company
- 4) Smoke alarms specifically designed for hearing impaired persons
- 5) A hard-wired ionization smoke alarm must have a hush feature but is not required to have a ten-year battery.

Note:

- Hard-wired systems cannot be replaced with solely battery-operated smoke alarms.
- Combination fire/burglar alarm systems meet the Oregon hush feature requirement if they can be silenced at a control panel.

7.7 Item 3(Picture)

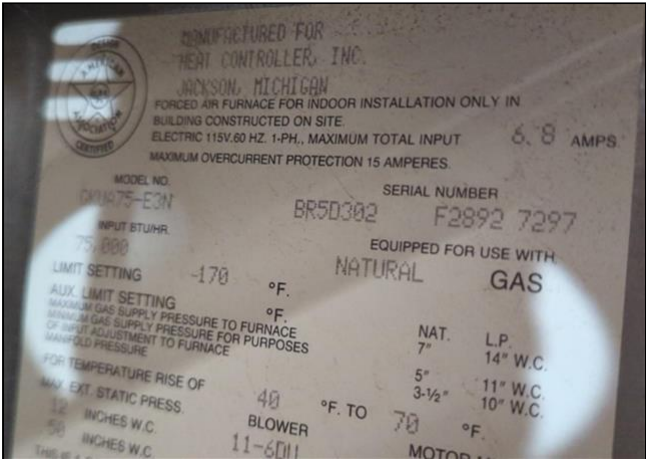
7.8 CARBON MONOXIDE DETECTORS

Comments: Inspected

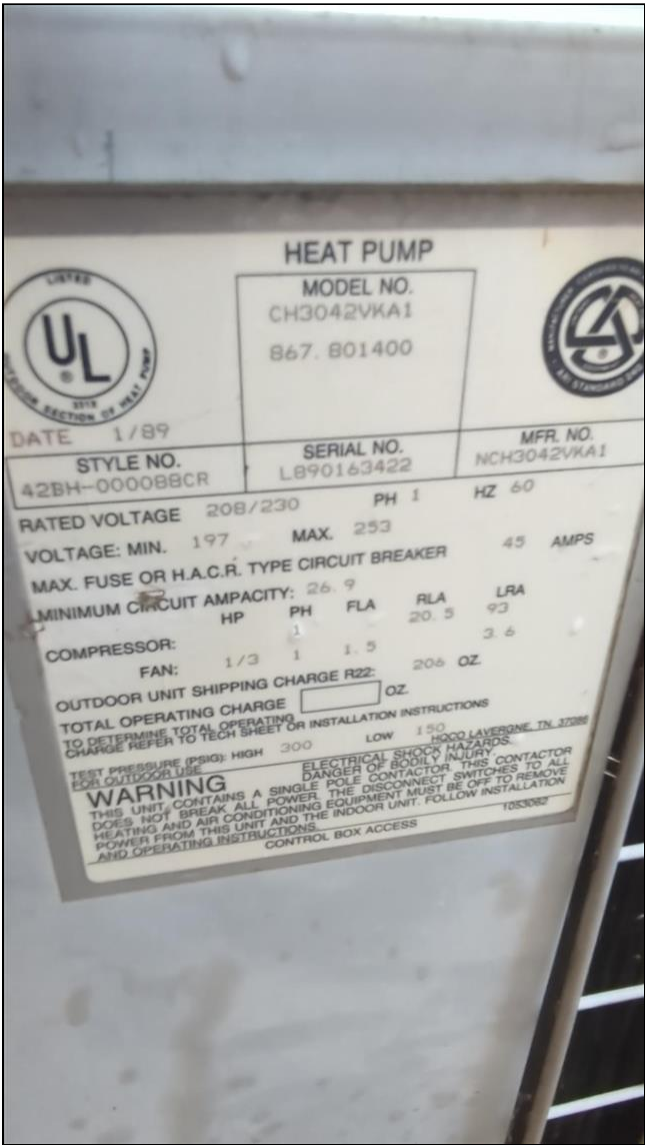
The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.







Styles & Materials

Heat Type: Forced Air	Energy Source: Natural gas	Heat System Brand: CONQUEST
Approximate age of Furnace/boiler: 1992	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 16x25	Types of Fireplaces: Vented gas logs	Number of Installed Woodstoves: None
Cooling Equipment Type: Heat Pump Forced Air (also provides warm air)	Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: HEIL
Number of AC Only Units: One	Approximate age of Central Air Equipment: 1989	

Inspection Items

8.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

- 🔧 (1) The outside HEAT PUMP unit did not appear to be wired to function in heat mode. This is for your information. A qualified HVAC person should inspect further and repair or replace as needed.
- 🔧 (2) The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.
- 🔍 (3) The furnace was approaching the end of it's useful life and may last a few years more, but maybe not. Sometimes units can fail shortly after an inspection during the seasonal change from mild to cold weather. It cannot be determined how long your furnace will last before replacement is necessary.

8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Not Present

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Inspected, Repair or Replace

- 🔍 (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).
- 🔧 (2) The compressor was not level. This can cause damage to the unit or shorten its life span. I recommend service or repair as needed.



8.8 Item 1(Picture)

- 🔍 (3) The air conditioning system currently uses R-22 type of refrigerant. If your air conditioning fails it might be subject to the following. On January 1, 2010, the Environmental Protection Agency placed into effect a ban on the manufacture of new HVAC systems using R-22 refrigerant. General phase out of R-22 refrigerant is currently estimated to be complete by the year 2020, at which time chemical manufacturers will no longer be able to produce R-22 to service existing air conditioners and heat pumps. Existing units using R-22 can continue to be serviced with R-22 but it is expected to gradually become expensive and difficult to obtain. New, high-energy efficient systems, will utilize new non-ozone-depleting refrigerants such as 410-A. Unfortunately, 410-A cannot be utilized in some older systems

which previously used R-22 without making some substantial and costly changes to system components.

🔍 (4) The condenser outside (AC unit) was very old and may last a few years more, but maybe not. I have seen units fail shortly after a home inspection during the seasonal change from mild to hot weather. I cannot determine how long your AC will last before a replacement is necessary.

🔧 (5) The AC unit does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation: Blown Batt Fiberglass R-30 or better	Ventilation: Roof vents Soffit Vents	Exhaust Fans: Fan only
Dryer Power Source: 240 Electric	Dryer Vent: Metal	Floor System Insulation: Batts Fiberglass R-25
Vapor Retarder/Barrier: Black Plastic		

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected

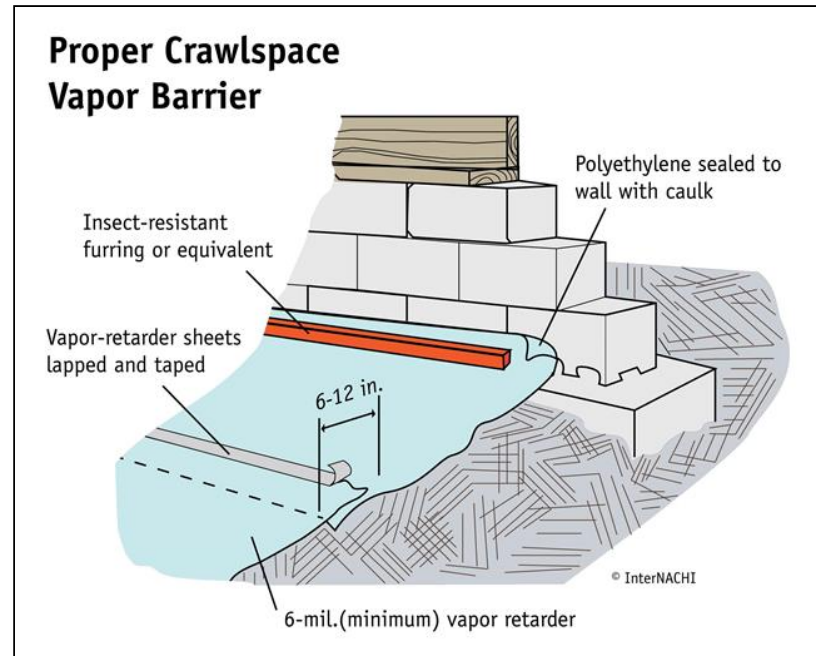
9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

 The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)

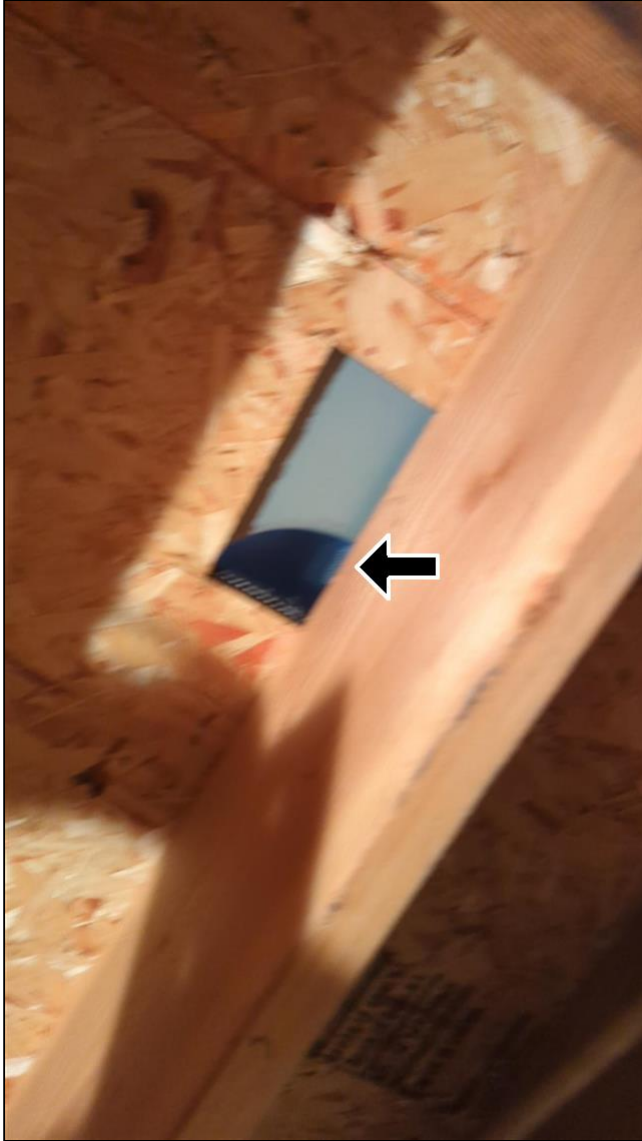


9.2 Item 3(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected, Monitor

- 🔍 The roof vents were partially blocked due to poor installation at the rear of the building. This condition may prevent moist air in the winter and hot air in the summer from exiting the attic properly. A qualified contractor should inspect and repair as needed.



9.3 Item 1(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)

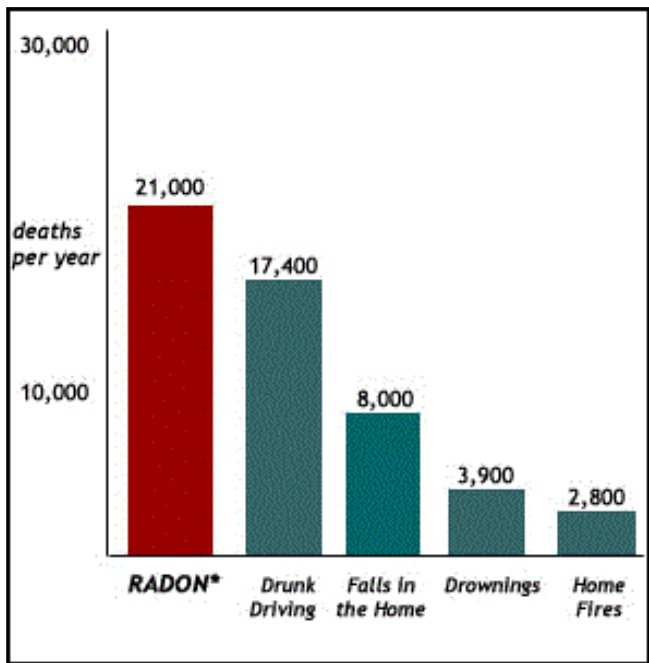
Comments: Inspected

9.5 RADON MITIGATION SYSTEM

Comments: Not Present

🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

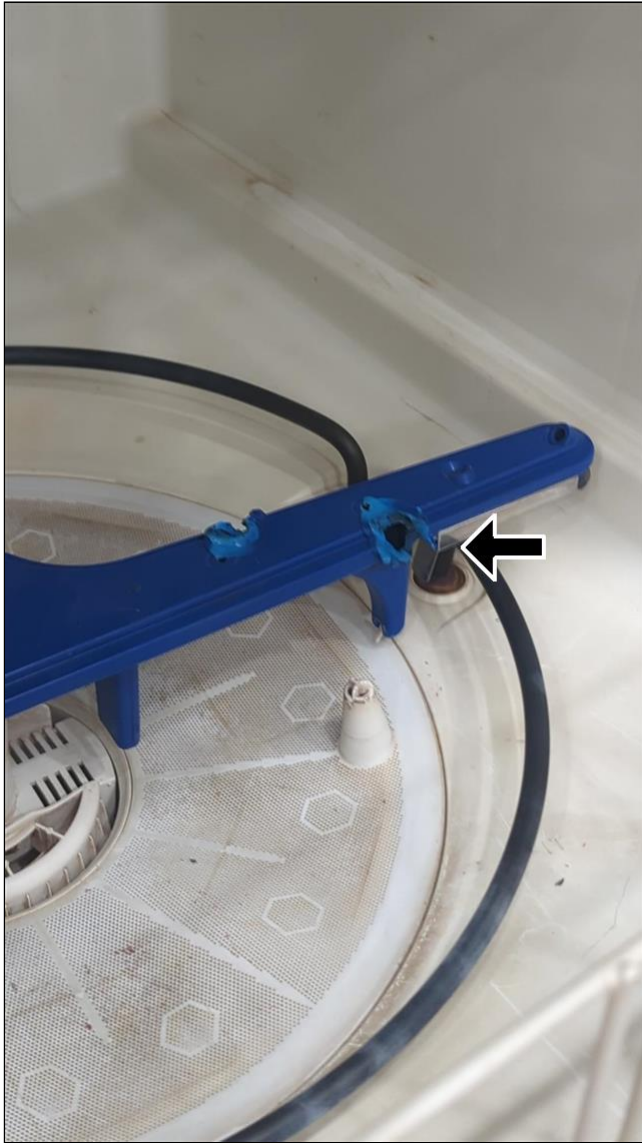
Disposer Brand: WASTE KING	Installed Dishwasher Brand: FRIGIDAIRE	Range/Oven/Cooktop: KENMORE
Kitchen Exhaust/Range hood: DOWNDRAFT KENMORE	Built in Microwave: KENMORE	Trash Compactors: NONE

Inspection Items

- 10.0 FOOD WASTE DISPOSER
Comments: Inspected
- 10.1 INSTALLED DISHWASHER
Comments: Not Inspected, Repair or Replace



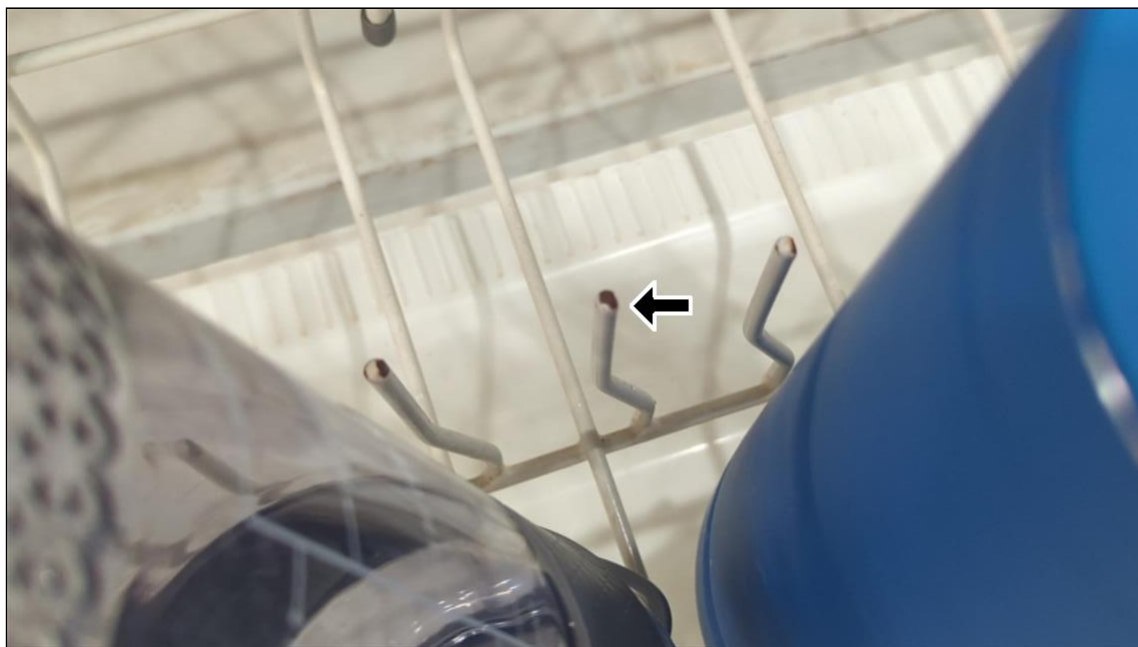
(1) The dishwasher was not tested. The owner stated that the door leaked last time the dishwasher was operated. The bottom spray arm was damaged and this may be the cause of the leakage. This should be repaired as necessary.



10.1 Item 1(Picture)



(2) The dishwasher rack vinyl coating was damaged and the steel frame has started to rust. I recommend repair as necessary.



10.1 Item 2(Picture)

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected, Repair or Replace

 The light bulb for oven did not work when tested. I recommend repair as needed.



10.2 Item 1(Picture)

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected, Repair or Replace

 (1) The downdraft fan exhaust hood was missing its screen. I recommend repair or replace as needed.



10.3 Item 1(Picture)

 (2) The grease filter had crust or grime build-up. I recommend repair or replace as needed.



10.3 Item 2(Picture)

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Inspected

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

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Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

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