

Perfection[✓] Inspection, Inc

Bonnie Hatch

**Property Address:
755 Harmony St
Lebanon OR 97355**



9/6/2024

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

**1160 31st CT
Salem, OR 97304
503.508.4321 jallhiser@PerfectionInspectionInc.com**

J. C. President



Table of Contents

Cover Page.....

1

Table of Contents

2

Intro Page.....

3

Repair Summary

5

Safety Issues.....

10

Monitor.....

12

Normal Routine Maintenace.....

14

1 Roofing.....

16

2 Exterior

20

3 Garage

25

4 Interiors.....

29

5 Structural Components

34

6 Plumbing System

39

7 Electrical System

47

8 Heating / Central Air Conditioning.....

60

9 Insulation and Ventilation.....

64

10 Built-In Kitchen Appliances

67

Attachments.....

69

Date: 9/6/2024	Time: 09:00 AM	Report ID: 20240906-755-Harmony-St
Property: 755 Harmony St Lebanon OR 97355	Customer: Bonnie Hatch	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

Buildings more than 25 years old may have areas that are not current in code requirements. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult during a one time inspection and in an occupied building. Sometimes buildings have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had

storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Seller and listing broker	Type of building: Single Family (1 story)
Approximate Year Built: 1976	Temperature: Over 65	Weather: Smoky
Ground/Soil surface condition: Dry	Rain in last 3 days: Yes	

Repair Summary



Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer
Bonnie Hatch

Address
755 Harmony St
Lebanon OR 97355

The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 FLASHINGS

Inspected, Repair or Replace

 The gas flue for the furnace has a flashing joint that should be caulked. This should be repaired by a licensed professional contractor to prevent leakage.

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

-  (1) The installation of a rain cap/screen is suggested on the masonry chimney. A properly installed rain cap will help shed excess moisture and prevent pests from accessing the chimney. A qualified, licensed professional contractor should install a rain cap.
-  (2) One skylight was cloudy, (lost seal) at the hall bath. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should repair or replace as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

 The caulking joints were open on the exterior trim. The building should be properly prepped, caulked and painted to preserve the building envelope.

2.1 DOORS (Exterior)

Inspected, Repair or Replace

-  The entry door at the rear of the building of home has single pane non tempered glass. Non tempered glass can be dangerous if broken or damaged. Although this was normal when the home was built, replacing the glass will improve the safety of the home.

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Inspected, Repair or Replace

-  The deck structure on the rear of the building were not installed properly. The joist hangers were missing fasteners and were using the wrong fasteners. A qualified contractor should repair or replace as needed.

Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

-  (1) A gap between the fascia and roof sheathing exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.
-  (2) The metal trim at eave on the west side of the building was missing. Deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.

3. Garage

3.3 GARAGE DOOR (S)

Inspected, Monitor

-  (1) The man door at the front of the building has a single pane of glass that does not appear to be tempered. Non tempered glass can be dangerous if broken or damaged. Although this was normal when the home was built, replacing the glass will improve the safety of the home.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace

-  The garage door opener was using an extension cord as permanent wiring, and should have it's own outlet. An outlet should be installed near the opener. A qualified licensed electrician should inspect further and repair as needed.

4. Interiors

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

-   (1) Some windows were missing screens. This should be repaired. A qualified person should repair or replace as needed.
-  (2) The windows were not low enough to be considered egress windows at the bedrooms. This may be a safety concern if a window is needed to escape fire. A qualified contractor should inspect and repair as needed.
-  (3) One window was cloudy (moisture trapped between the panes) in the garage. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

-  The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.

5.4 FLOORS (Structural)

Inspected, Repair or Replace

-  The girder was cut or damaged by tradesman in the crawlspace under the master bath. Repairs are needed. A qualified, licensed professional contractor should repair as necessary.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Monitor, Repair or Replace

-  Water stains are on the roofing structure around the the front valley of the garage. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-  (1) The toilet won't flush unless lever is held down briefly at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (2) The toilet should be caulked at the floor at the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (3) The plumbing waste line leaked in the crawlspace (refer to pictures for information). Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (4) The plumbing waste line did not have proper slope in the crawlspace under the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (5) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected, Repair or Replace

-  The vent pipe for gas water heater needs a 1 inch clearance from combustibles in the attic. This is a safety issue and should be repaired. I recommend a qualified licensed heat contractor inspect further and repair as needed.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Repair or Replace

-  The gas lines in the garage should have a steel bollard to protect the lines from accidental contact with a vehicle. A licensed professional contractor should install as necessary.

7. Electrical System

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Inspected, Repair or Replace

-  The main aluminum conductors did not appear to have anti-oxidant paste. This paste is especially important on aluminum to prevent early oxidation, and corrosion. Some wire manufactures do not specify the use of the anti-oxidant however the brand of the wire can not be determined. A qualified, licensed electrician should examine the lugs, tighten if necessary and apply the anti-oxidant paste.

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Repair or Replace

-  (1) Double tap (where two wires share a breaker designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring.
-  (2) Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>
-  (3) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.
-  (4) Multi circuit wiring noted that appears to have two circuits that are coming off the same phase. This condition causes both legs to use the same neutral essentially doubling the amperage on the neutral. This is a safety issue and a qualified, professional electrician should repair.
-  (5) The twin/double breakers were installed in areas of the panel that was not proper and while an electrician may suggest that this is acceptable, if a fire was to originate in the electrical panel typical home insurance would not cover the damage due to the components installed in opposition to the label directions. This issue needs correcting. I recommend a licensed electrician properly move/repair the damaged/improperly installed breakers.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-  (1) Exposed wiring under the sink in the kitchen. This is for your information. I recommend repair as needed.
-  (2) Exposed splice(s) at the carbon monoxide detector on wall. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.
-  (3) Several loose wire ends need placing in boxes with cover-plates in the garage behind the furnace. A qualified licensed electrician should perform repairs that involve wiring.
-  (4) The wall switch purpose was unknown (could not identify) at the washer/dryer room. This is for your information. I recommend repair as needed.
-  (5) Exposed splice(s) near the furnace and under the fireplace in the crawlspace. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (6) Improperly secured wiring in the crawlspace. This is for your information. I recommend repair as needed.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

-  The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

8. Heating / Central Air Conditioning

8.1 NORMAL OPERATING CONTROLS

Inspected, Repair or Replace

-  The thermostat did not function in fan mode. I recommend repair or replace as needed.

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Inspected, Repair or Replace



Due to the limited view of the flue it is suggested that, before the heating season, you contract a qualified, professional chimney sweep to inspect the flue.

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Inspected, Repair or Replace



(1) Fiberglass (Batts) insulation was missing in attic around the skylight chase. Heat loss can occur more in this building than from one that is properly insulated. A qualified contractor should inspect and repair as needed.



(2) Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.

10. Built-In Kitchen Appliances

10.3 RANGE HOOD/KITCHEN VENT

Inspected, Repair or Replace



The range hood fan vents into the attic space and should vent to the outside. I recommend repair or replace as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Safety Issues

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer
Bonnie Hatch

Address
755 Harmony St
Lebanon OR 97355

The following items or discoveries indicate that these systems or components that indicate **dangerous** or possible **seriously hazardous conditions**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

7. Electrical System

- 7.2 **BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE**
- Inspected, Repair or Replace
- 

(4) Multi circuit wiring noted that appears to have two circuits that are coming off the same phase. This condition causes both legs to use the same neutral essentially doubling the amperage on the neutral. This is a safety issue and a qualified, professional electrician should repair.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information

should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Monitor

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer
Bonnie Hatch

Address
755 Harmony St
Lebanon OR 97355

The following items or discoveries indicate that these systems or components that **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

3. Garage

3.3 GARAGE DOOR (S)

Inspected, Monitor

 (2) The garage door at the front of the building shows some mechanical damage. This appears to be a cosmetic issue and does not effect the function of the door. I recommend monitoring this issue to determine if repairs are necessary.

4. Interiors

4.2 FLOORS

Inspected, Monitor

 The floors squeak in areas. This is mostly a cosmetic issue and is for your information. The floors should be repaired as desired.

5. Structural Components

5.2 WALLS (Structural)

Inspected, Normal Routine Maintenance Item

  The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.

5.6 ROOF STRUCTURE AND ATTIC

Inspected, Monitor, Repair or Replace

- 🔍 Water stains are on the roofing structure around the the front valley of the garage. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.

5.7 WOOD DESTROYING ORGANISMS

Inspected, Monitor

- 🔍 Old historic signs of subterranean termites noted in the crawlspace wood debris. No significant, current, ongoing indications of issues within the building however the building should be inspected every year as a matter a maintenance.

6. Plumbing System

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Monitor

- 🔍 The refrigerator ice/water supply line could not observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

9. Insulation and Ventilation

9.5 RADON MITIGATION SYSTEM

Not Present

- 🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

Normal Routine Maintenance

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT
Salem, OR 97304
503.508.4321 Jallhiser@PerfectionInspectionInc.com

Customer
Bonnie Hatch

Address
755 Harmony St
Lebanon OR 97355

The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected, Normal Routine Maintenance Item

 The debris that was on the roof should be removed. The debris can cause damage if left in place and shorten the roof's life. No comment can be offered on the condition of the roofing under the debris. A qualified, person should carefully remove debris as necessary.

1.1 FLASHINGS

Inspected, Repair or Replace

  The gas flue for the furnace has a flashing joint that should be caulked. This should be repaired by a licensed professional contractor to prevent leakage.

4. Interiors

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace

  (1) Some windows were missing screens. This should be repaired. A qualified person should repair or replace as needed.

5. Structural Components

5.2 WALLS (Structural)

Inspected, Normal Routine Maintenance Item

 The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

Prepared Using HomeGauge <http://www.HomeGauge.com> : Licensed To Jim Allhiser

1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.



Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): Curb Style
Chimney (exterior): Plastic Masonry Metal Flue Pipe		

Inspection Items

- 1.0 ROOF COVERINGS
- Comments: Inspected, Normal Routine Maintenace Item

- 🏠 The debris that was on the roof should be removed. The debris can cause damage if left in place and shorten the roof's life. No comment can be offered on the condition of the roofing under the debris. A qualified, person should carefully remove debris as necessary.



1.0 Item 1(Picture)

1.1 FLASHINGS

Comments: Inspected, Repair or Replace

 The gas flue for the furnace has a flashing joint that should be caulked. This should be repaired by a  licensed professional contractor to prevent leakage.



1.1 Item 1(Picture)

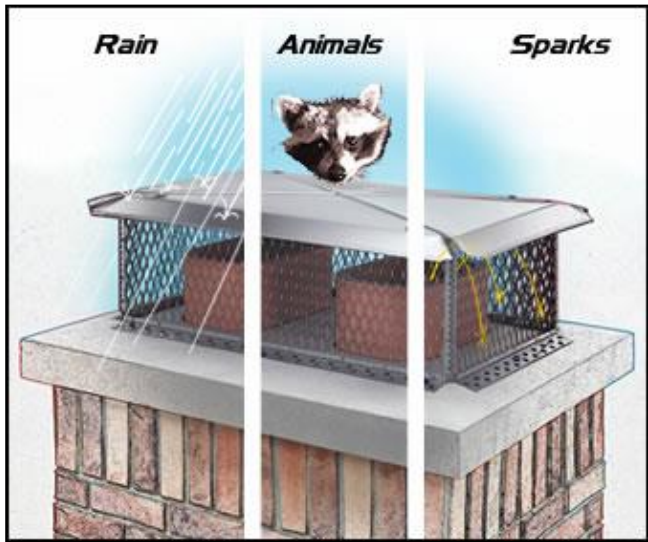


1.1 Item 2(Picture)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected, Repair or Replace

 (1) The installation of a rain cap/screen is suggested on the masonry chimney. A properly installed rain cap will help shed excess moisture and prevent pests from accessing the chimney. A qualified, licensed professional contractor should install a rain cap.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

- 🔧 (2) One skylight was cloudy, (lost seal) at the hall bath. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should repair or replace as needed.



1.2 Item 3(Picture)

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Metal	Composite Wood
Driveway:	Retaining wall that Affects the Building:	
Concrete	None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

 The caulking joints were open on the exterior trim. The building should be properly prepped, caulked and painted to preserve the building envelope.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

2.1 DOORS (Exterior)

Comments: Inspected, Repair or Replace

- 🔧 The entry door at the rear of the building of home has single pane non tempered glass. Non tempered glass can be dangerous if broken or damaged. Although this was normal when the home was built, replacing the glass will improve the safety of the home.



2.1 Item 1(Picture)

2.2 WINDOWS

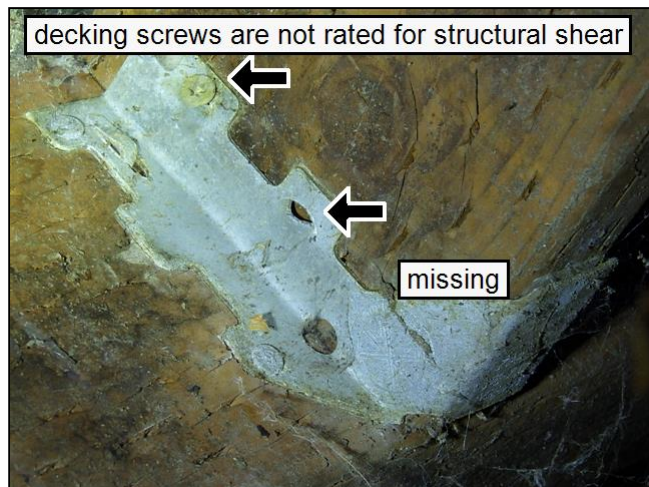
Comments: Inspected

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected, Repair or Replace

🔧 The deck structure on the rear of the building were not installed properly. The joist hangers were missing fasteners and were using the wrong fasteners. A qualified contractor should repair or replace as needed.

Refer to this post for more information: <http://www.structuretech1.com/blog/category/joist-hanger-nails/>



2.3 Item 1(Picture)



2.3 Item 2(Picture)



2.3 Item 3(Picture)



2.3 Item 4(Picture)

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

 (1) A gap between the fascia and roof sheathing exists which may allow vermin to nest in the eave and possibly enter the attic. A licensed professional contractor should seal these openings as necessary.



2.5 Item 1(Picture)

 (2) The metal trim at eave on the west side of the building was missing. Deterioration may occur if not corrected. A qualified contractor should inspect and repair as needed.



2.5 Item 2(Picture)



2.5 Item 3(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



Styles & Materials

Garage Door Type: Two automatic	Garage Door Material: Metal Insulated	Auto-opener Manufacturer: GENIE OVERHEAD DOOR
Did the Garage Door Opener Reverse when met with Resistance?: Yes		

Inspection Items

- 3.0 GARAGE CEILINGS
Comments: Inspected
- 3.1 GARAGE WALLS
Comments: Inspected
- 3.2 GARAGE FLOOR
Comments: Inspected
- 3.3 GARAGE DOOR (S)
Comments: Inspected, Monitor



(1) The man door at the front of the building has a single pane of glass that does not appear to be tempered. Non tempered glass can be dangerous if broken or damaged. Although this was normal when the home was built, replacing the glass will improve the safety of the home.



3.3 Item 1(Picture)

🔍 (2) The garage door at the front of the building shows some mechanical damage. This appears to be a cosmetic issue and does not effect the function of the door. I recommend monitoring this issue to determine if repairs are necessary.



3.3 Item 2(Picture)

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Comments: Inspected

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

🔧 The garage door opener was using an extension cord as permanent wiring, and should have it's own outlet. An outlet should be installed near the opener. A qualified licensed electrician should inspect further and repair as needed.



3.5 Item 1(Picture)



3.5 Item 2(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Drywall Wood	Wall Material: Drywall Paneling	Floor Covering(s): Vinyl Carpet Laminate
Interior Doors: Hollow core	Window Types: Thermal/Insulated Sliders Vinyl Frame	Window Manufacturer: LBL
Cabinetry: Wood	Countertop: Granite Slab	

Inspection Items

- 4.0 CEILINGS
Comments: Inspected
- 4.1 WALLS
Comments: Inspected
- 4.2 FLOORS
Comments: Inspected, Monitor

- 🔍 The floors squeak in areas. This is mostly a cosmetic issue and is for your information. The floors should be repaired as desired.



4.2 Item 1(Picture)

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

Comments: Inspected

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

 (1) Some windows were missing screens. This should be repaired. A qualified person should repair or replace as needed.



4.6 Item 1(Picture)

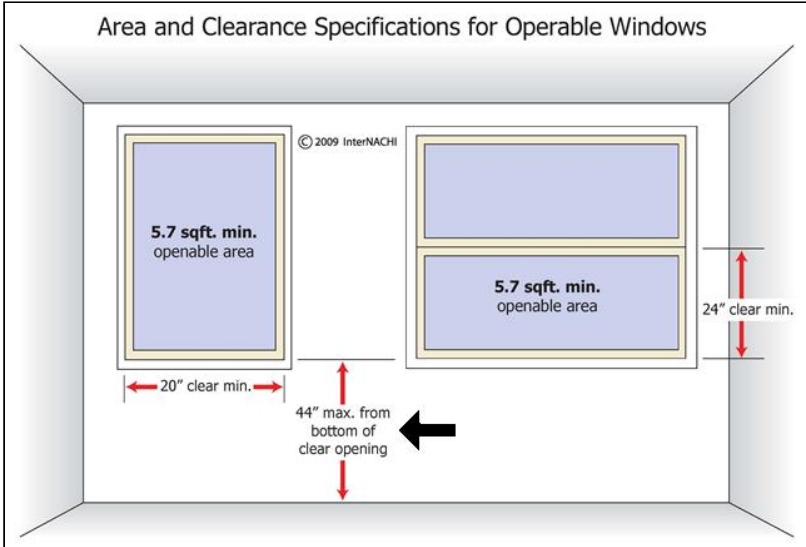


4.6 Item 2(Picture)



4.6 Item 3(Picture)

(2) The windows were not low enough to be considered egress windows at the bedrooms. This may be a safety concern if a window is needed to escape fire. A qualified contractor should inspect and repair as needed.



4.6 Item 4(Picture)



4.6 Item 5(Picture)



4.6 Item 6(Picture)

- 🔧 (3) One window was cloudy (moisture trapped between the panes) in the garage. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.

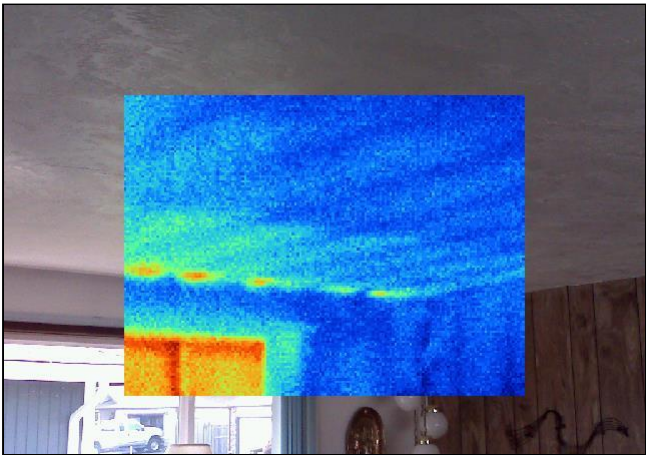


4.6 Item 7(Picture)

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe Crawlspace: Crawled	Floor Structure: Wood beams
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Wood Rafters
Roof-Type: Gable	Method used to observe attic: Crawled Limited entry	

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Repair or Replace

- ⚠ The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.



5.0 Item 1(Picture)

5.1 CRAWLSPACE MOISTURE

Comments: Inspected

5.2 WALLS (Structural)

Comments: Inspected, Normal Routine Maintenance Item



The foundation wall has typical shrinkage cracks. These cracks appear to be normal in size and shape and no repairs are needed.



5.2 Item 1(Picture)

5.3 COLUMNS OR PIERS

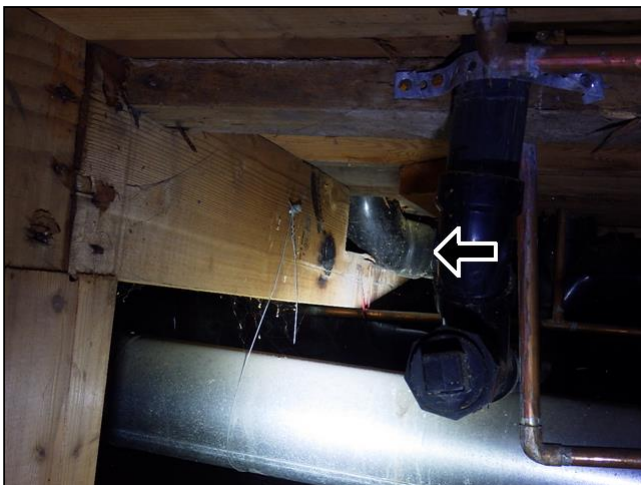
Comments: Inspected

5.4 FLOORS (Structural)

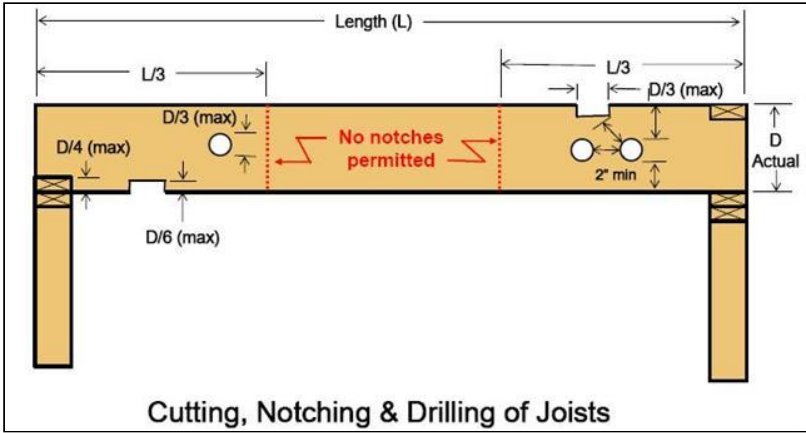
Comments: Inspected, Repair or Replace



The girder was cut or damaged by tradesman in the crawlspace under the master bath. Repairs are needed. A qualified, licensed professional contractor should repair as necessary.



5.4 Item 1(Picture)



5.4 Item 2(Picture)

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected, Monitor, Repair or Replace

🔍 Water stains are on the roofing structure around the the front valley of the garage. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.



5.6 Item 1(Picture)



5.6 Item 2(Picture)



5.6 Item 3(Picture)

5.7 WOOD DESTROYING ORGANISMS

- Comments: Inspected, Monitor
- 🔍

Old historic signs of subterranean termites noted in the crawlspace wood debris. No significant, current, ongoing indications of issues within the building however the building should be inspected every year as a matter a maintenance.

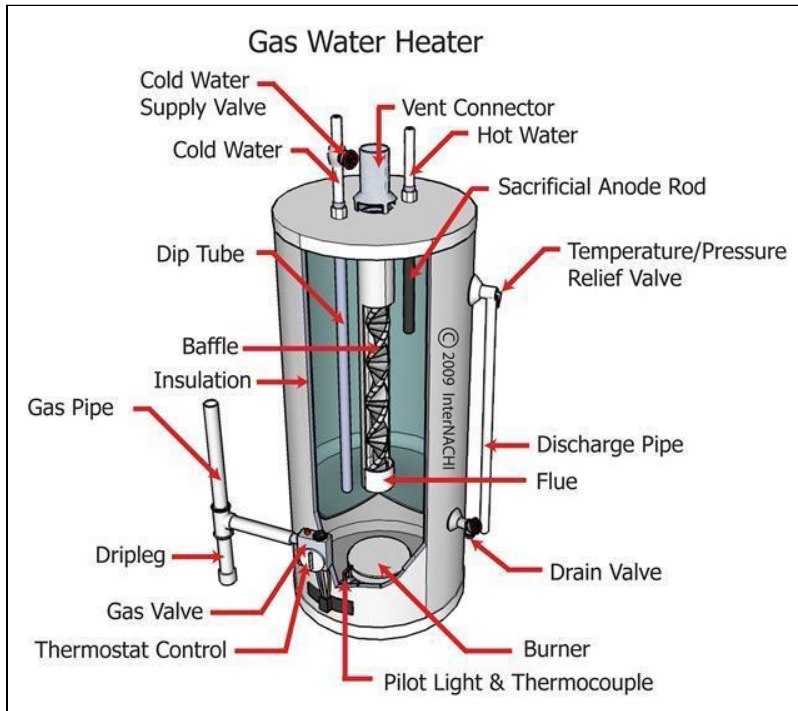


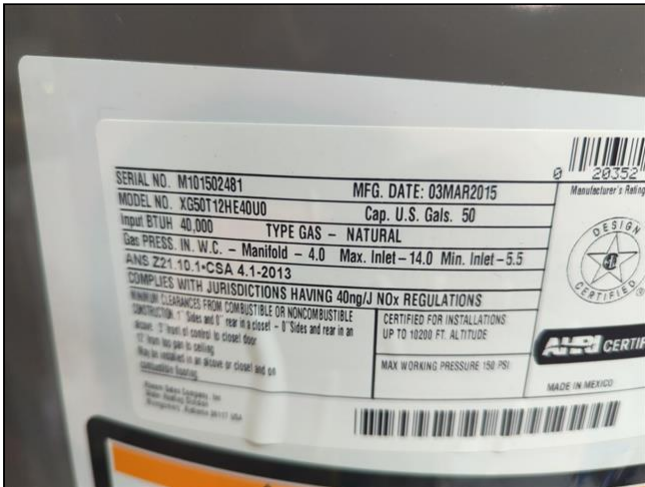
5.7 Item 1(Picture)

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





Styles & Materials

Water Source: Public	Plumbing Water Supply (into building): Copper	Plumbing Water Distribution (inside building): Copper
Washer Drain Size: 2" Diameter	Plumbing Waste/Vent: ABS	Water Heater Power Source: Gas
Water Heater Capacity: 50 Gallon (2-3 Bathrooms)	Manufacturer: RHEEM	Approximate Year of the Water Heater(s): 2015

Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS
Comments: Inspected, Repair or Replace

- 🔧 (1) The toilet won't flush unless lever is held down briefly at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 1(Picture)

- 🔧 (2) The toilet should be caulked at the floor at the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 2(Picture)

- 🔧 (3) The plumbing waste line leaked in the crawlspace (refer to pictures for information). Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



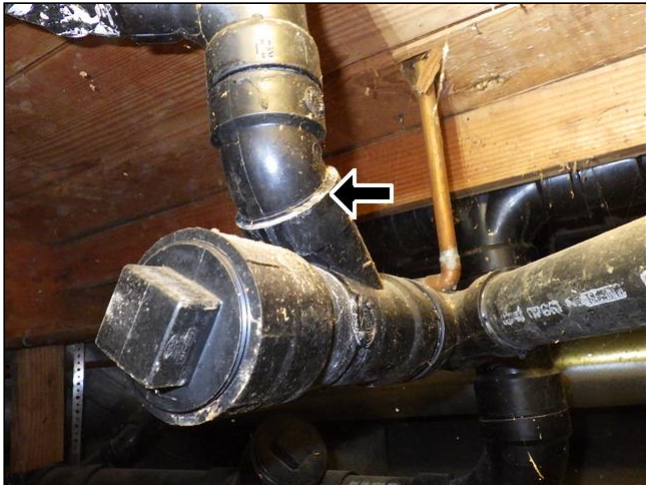
6.0 Item 3(Picture)



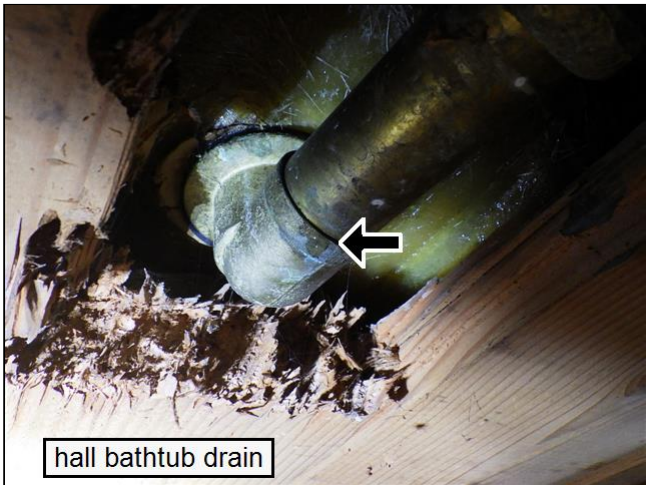
6.0 Item 4(Picture)



6.0 Item 5(Picture)



6.0 Item 6(Picture)



6.0 Item 7(Picture)



6.0 Item 8(Picture)



6.0 Item 9(Picture)



6.0 Item 10(Picture)

- 🔧 (4) The plumbing waste line did not have proper slope in the crawlspace under the master bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.0 Item 11(Picture)

- 🔧 (5) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Monitor

- 🔧 The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected, Repair or Replace

- 🔧 The vent pipe for gas water heater needs a 1 inch clearance from combustibles in the attic. This is a safety issue and should be repaired. I recommend a qualified licensed heat contractor inspect further and repair as needed.



6.2 Item 1(Picture)

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut off was located outside in the ground.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Repair or Replace

- 🔧 The gas lines in the garage should have a steel bollard to protect the lines from accidental contact with a vehicle. A licensed professional contractor should install as necessary.



6.4 Item 1(Picture)

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside

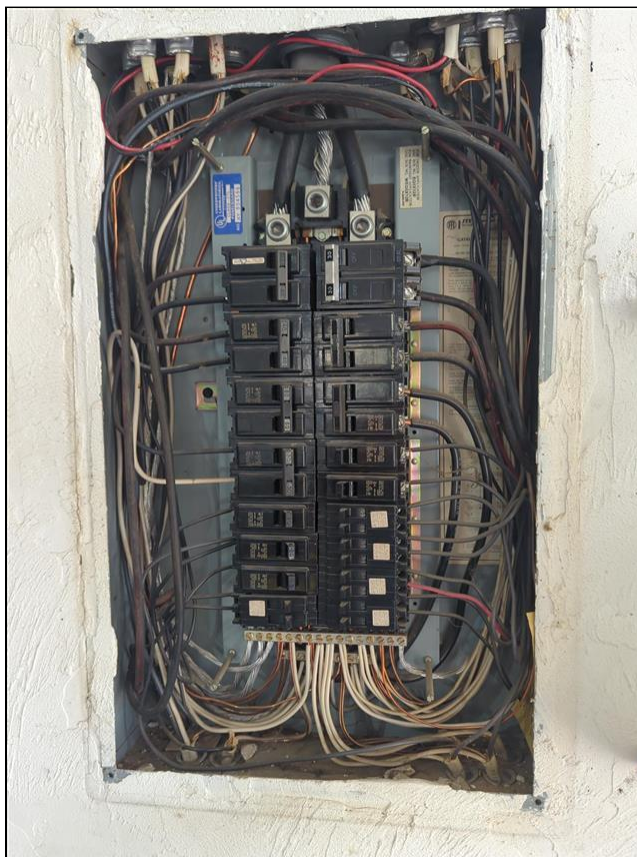


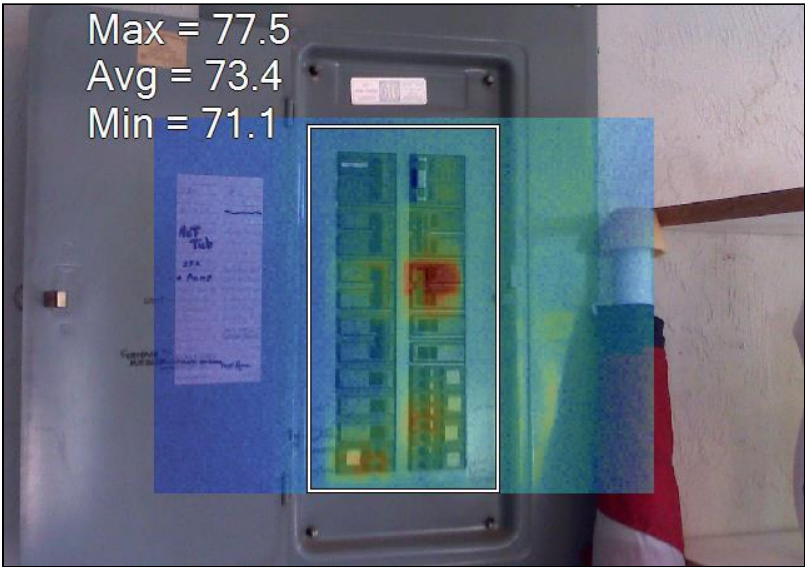
6.5 Item 1(Picture)

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load

Styles & Materials

Electrical Service Conductors: Below ground Aluminum 240 volts	Panel capacity: 200 AMP	Electric Panel Manufacturer: Industrial Electric Manufacturing Inc. ITE
Panel Type: Circuit breakers	Sub Panel Manufacturer: None	Branch wire 15 and 20 AMP: Copper
Wiring Methods: Non Metallic sheathed Cable		

Inspection Items

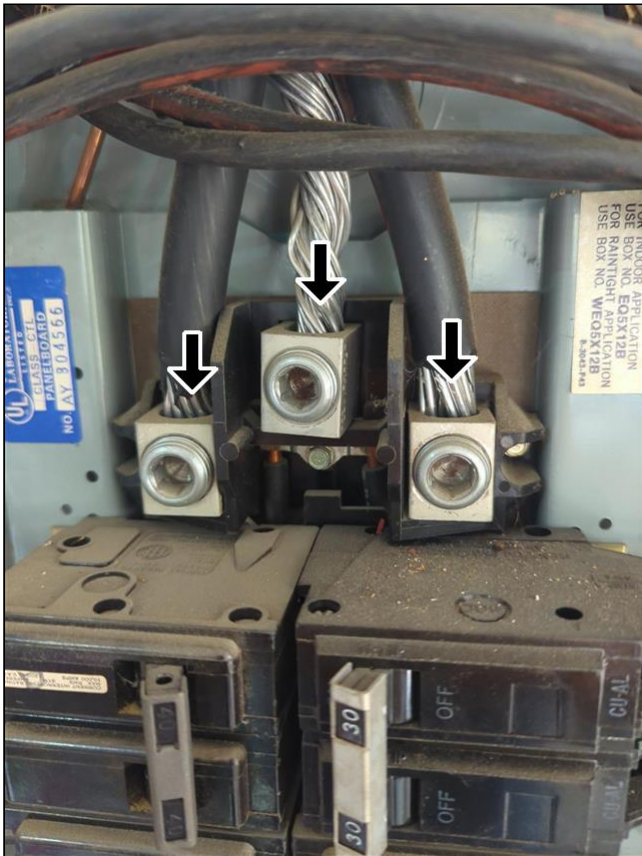
7.0 SERVICE ENTRANCE CONDUCTORS

Comments: Inspected

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Comments: Inspected, Repair or Replace

- ⚡ The main aluminum conductors did not appear to have anti-oxidant paste. This paste is especially important on aluminum to prevent early oxidation, and corrosion. Some wire manufactures do not specify the use of the anti-oxidant however the brand of the wire can not be determined. A qualified, licensed electrician should examine the lugs, tighten if necessary and apply the anti-oxidant paste.



7.1 Item 1(Picture)

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected, Repair or Replace

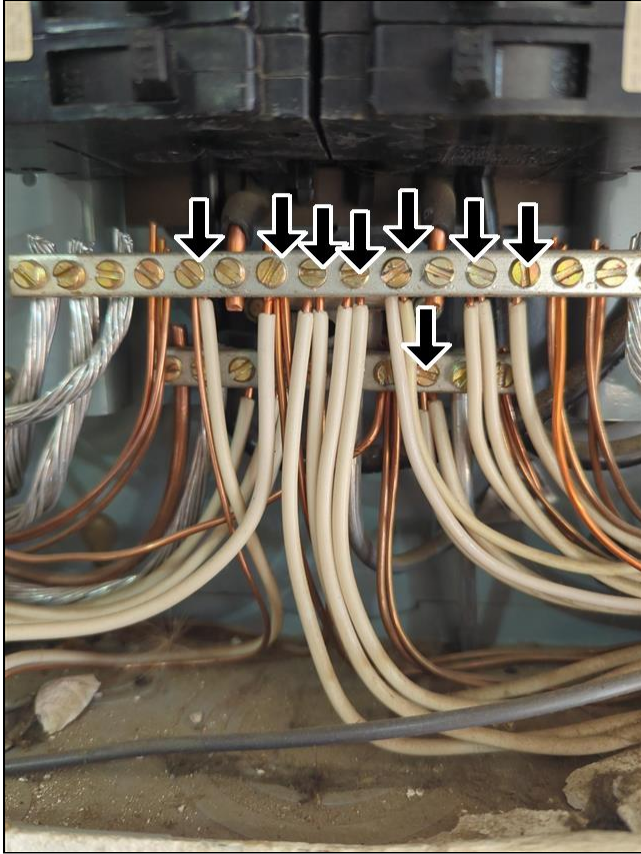


(1) Double tap (where two wires share a breaker designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring.



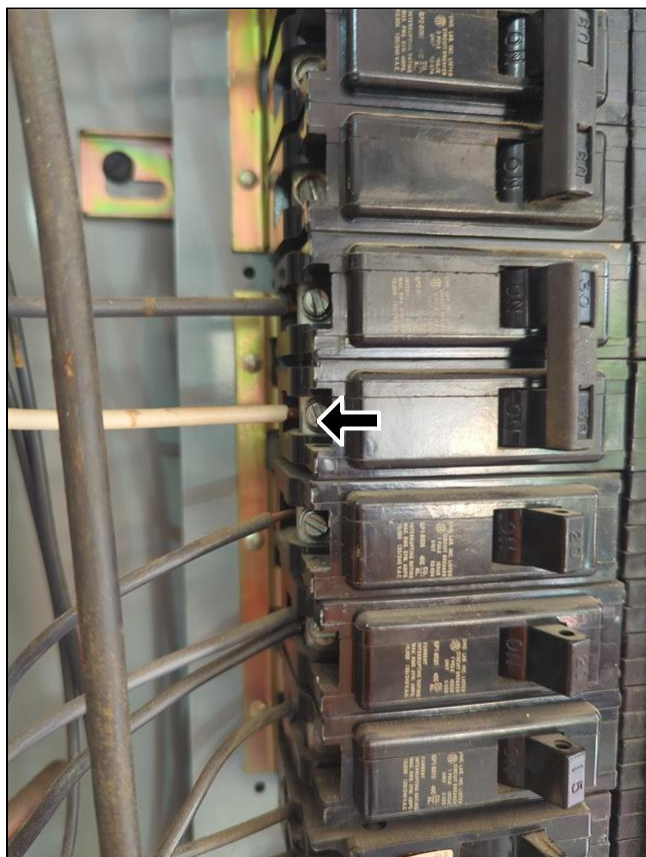
7.2 Item 1(Picture)

- 🔧 (2) Double tap (where neutral wires share a lug designed for one) noted on the main panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>

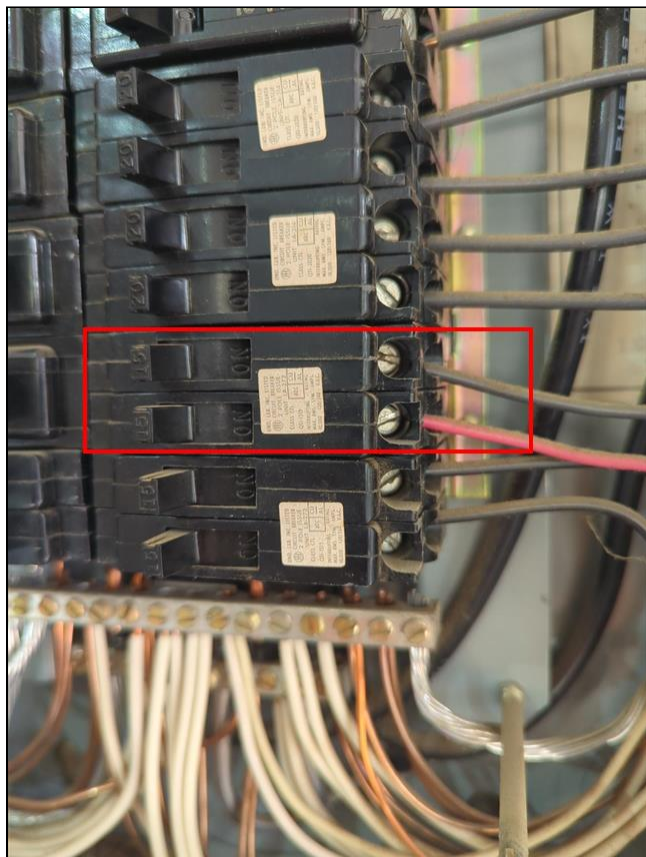


7.2 Item 2(Picture)

- ⚡ (3) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.

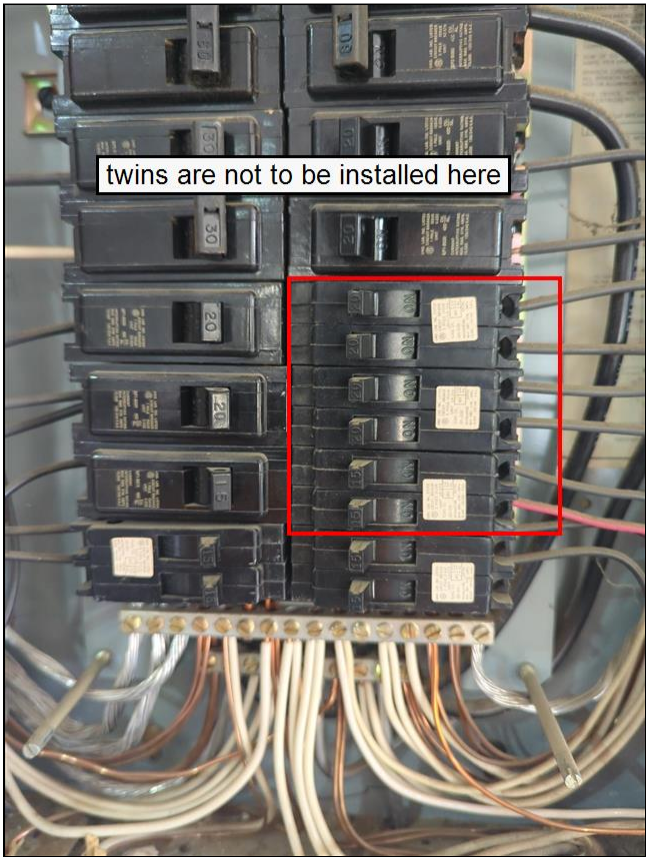


7.2 Item 3(Picture)

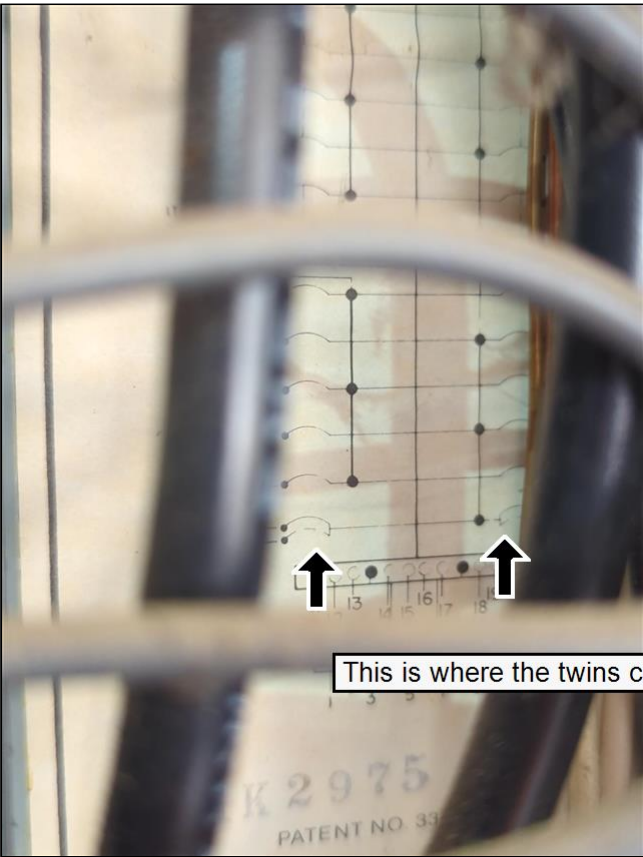


7.2 Item 4(Picture)

🔧 (5) The twin/double breakers were installed in areas of the panel that was not proper and while an electrician may suggest that this is acceptable, if a fire was to originate in the electrical panel typical home insurance would not cover the damage due to the components installed in opposition to the label directions. This issue needs correcting. I recommend a licensed electrician properly move/repair the damaged/improperly installed breakers.



7.2 Item 5(Picture)



7.2 Item 6(Picture)

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)
Comments: Inspected, Repair or Replace

- 🔧 (1) Exposed wiring under the sink in the kitchen. This is for your information. I recommend repair as needed.



7.3 Item 1(Picture)

- 🔧 (2) Exposed splice(s) at the carbon monoxide detector on wall. This is for your information. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 2(Picture)

- 🔧 (3) Several loose wire ends need placing in boxes with cover-plates in the garage behind the furnace. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 3(Picture)

- 🔧 (4) The wall switch purpose was unknown (could not identify) at the washer/dryer room. This is for your information. I recommend repair as needed.



7.3 Item 4(Picture)

- ⚡ (5) Exposed splice(s) near the furnace and under the fireplace in the crawlspace. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 5(Picture)



7.3 Item 6(Picture)

- ⚡ (6) Improperly secured wiring in the crawlspace. This is for your information. I recommend repair as needed.



7.3 Item 7(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

🔧 The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf



7.5 Item 1(Picture)



7.5 Item 2(Picture)



7.5 Item 3(Picture)



7.5 Item 4(Picture)



7.5 Item 5(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected

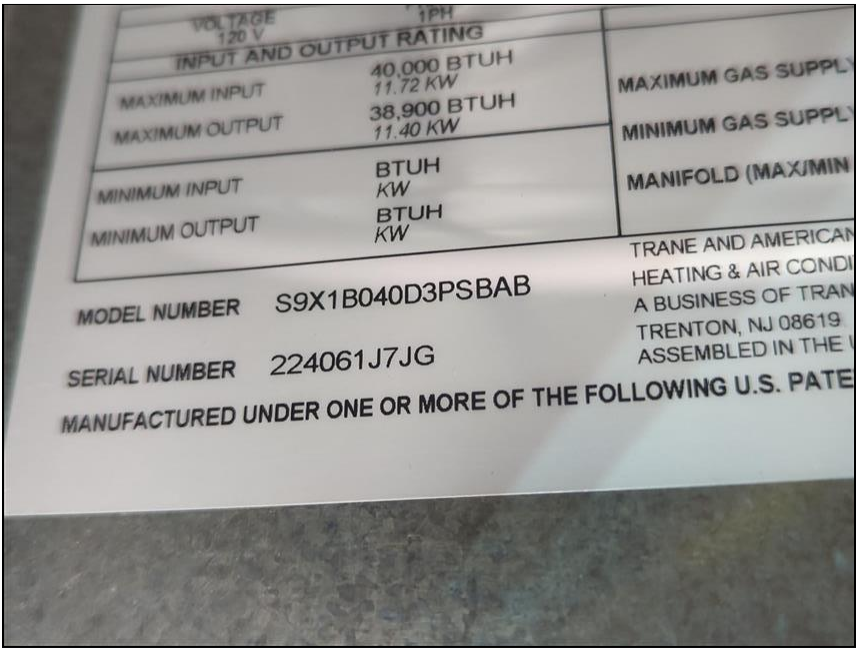
7.8 CARBON MONOXIDE DETECTORS

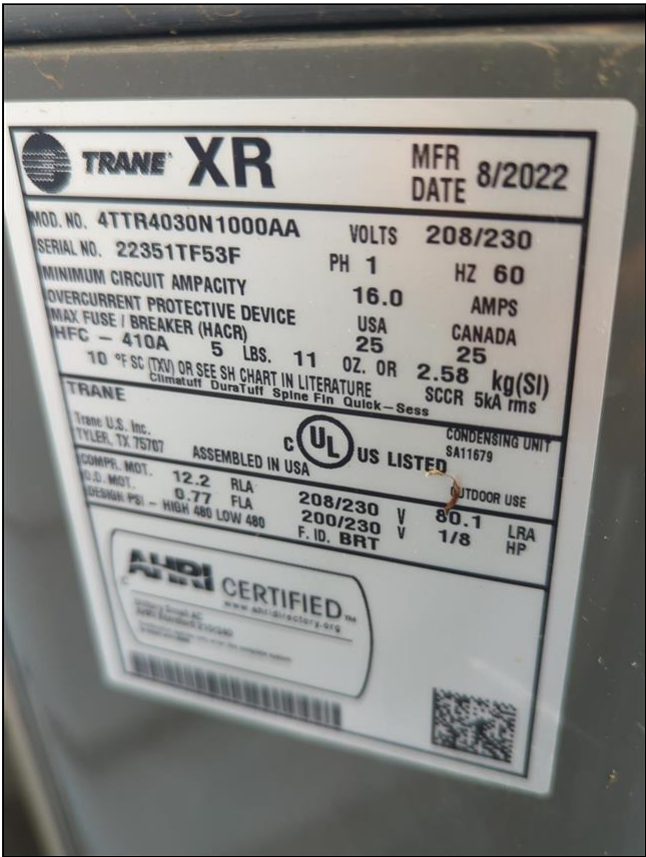
Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





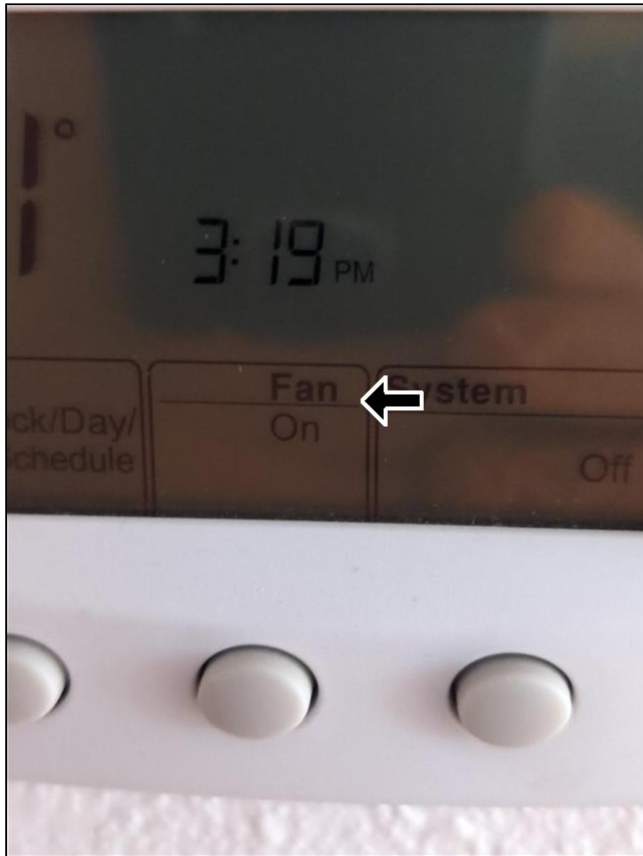
Styles & Materials

Heat Type: Forced Air High (90%+) Efficiency	Energy Source: Natural gas	Heat System Brand: TRANE
Approximate age of Furnace/boiler: 2022	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 20x25	Types of Fireplaces: Solid Fuel Conventional	Number of Installed Woodstoves: None
Cooling Equipment Type: Split system Air conditioner unit	Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: TRANE
Number of AC Only Units: One	Approximate age of Central Air Equipment: 2022	

Inspection Items

- 8.0 HEATING EQUIPMENT
Comments: Inspected
- 8.1 NORMAL OPERATING CONTROLS
Comments: Inspected, Repair or Replace

🔧 The thermostat did not function in fan mode. I recommend repair or replace as needed.



8.1 Item 1(Picture)

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Inspected, Repair or Replace

- 🔧 Due to the limited view of the flue it is suggested that, before the heating season, you contract a qualified, professional chimney sweep to inspect the flue.



8.6 Item 1(Picture)

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Present

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Inspected

8.9 NORMAL OPERATING CONTROLS

Comments: Inspected

8.10 PRESENCE OF INSTALLED COOLING SOURCE IN EACH ROOM

Comments: Inspected

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

- Blown
- Fiberglass
- Approximate
- R-19 or better

Ventilation:

- Roof vents
- Soffit Vents

Exhaust Fans:

- Fan only

Dryer Power Source:

- 240 Electric

Dryer Vent:

- Metal

Floor System Insulation:

- Batts
- Fiberglass
- R-19
- Perimeter foundation insulation

Vapor Retarder/Barrier:

- Black Plastic

Inspection Items

9.0 INSULATION IN ATTIC

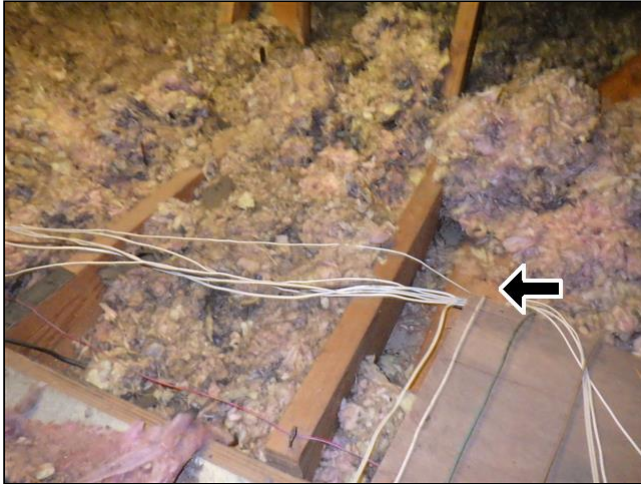
Comments: Inspected, Repair or Replace

🔧 (1) Fiberglass (Batts) insulation was missing in attic around the skylight chase. Heat loss can occur more in this building than from one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 1(Picture)

- 🔧 (2) Insulation was compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 2(Picture)



9.0 Item 3(Picture)

9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected

The crawlspace was once part of the heating systems return section. The furnace return has been ducted and the crawlspace has been abandoned as part of the ducts. This crawlspace was not ventilated however this crawlspace is conditioned with the ducts in the crawlspace and exterior vents do not appear to be necessary to prevent moisture issues and damage to the wood structure. This is for your information.



9.3 Item 1(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)

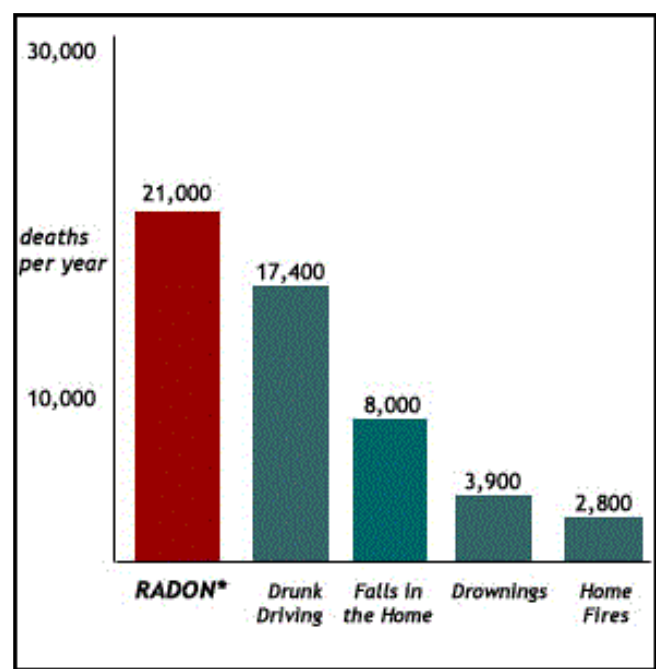
Comments: Inspected

9.5 RADON MITIGATION SYSTEM

Comments: Not Present

🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

Disposer Brand: IN SINK ERATOR	Installed Dishwasher Brand: MAYTAG	Range/Oven/Cooktop: FRIGIDAIRE
Kitchen Exhaust/Range hood: ELECTRLUX	Built in Microwave: NONE	Trash Compactors: NONE

Inspection Items

- 10.0 FOOD WASTE DISPOSER
Comments: Inspected
- 10.1 INSTALLED DISHWASHER
Comments: Inspected
- 10.2 RANGES/OVENS/COOKTOPS
Comments: Inspected
- 10.3 RANGE HOOD/KITCHEN VENT
Comments: Inspected, Repair or Replace



The range hood fan vents into the attic space and should vent to the outside. I recommend repair or replace as needed.



10.3 Item 1(Picture)

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Inspected

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

Perfection Inspection, Inc

Perfection Inspection, Inc.

1160 31st CT

Salem, OR 97304

503.508.4321 Jallhiser@PerfectionInspectionInc.com

Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Oregon Standards of Practice for Home Inspections](#)

[Consumer Protection Notice](#)