

Perfection Inspection, Inc

Carmen Triana

**Property Address:
611 Rockwood St SE
Salem OR 97306**



4/18/2024

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

**1160 31st CT
Salem, OR 97304
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J.C. President



Table of Contents

[Cover Page.....1](#)

[Table of Contents2](#)

[Intro Page.....3](#)

[Repair Summary5](#)

[Safety Issues.....10](#)

[Monitor.....12](#)

[Normal Routine Maintenace.....15](#)

[1 Roofing.....17](#)

[2 Exterior19](#)

[3 Garage25](#)

[4 Interiors.....31](#)

[5 Structural Components34](#)

[6 Plumbing System40](#)

[7 Electrical System48](#)

[8 Heating / Central Air Conditioning.....57](#)

[9 Insulation and Ventilation.....61](#)

[10 Built-In Kitchen Appliances66](#)

[Attachments.....68](#)

Date: 4/18/2024	Time: 10:00 AM	Report ID: 20240418-611-Rockwood-St-SE
Property: 611 Rockwood St SE Salem OR 97306	Customer: Carmen Triana	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

Buildings more than 25 years old may have areas that are not current in code requirements. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is sometimes common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult during a one time inspection and in an occupied building. Sometimes buildings have signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this home. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Sellers and listing broker	Type of building: Single Family (1 story)
Approximate Year Built: 1979	Temperature: Below 65	Weather: Clear
Ground/Soil surface condition: Damp	Rain in last 3 days: Yes	Radon Test: No
Building Faces: South		

Repair Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 FLASHINGS

Inspected, Repair or Replace

 The roof-to-wall (apron) flashing was loose and could be vulnerable to water intrusion. Noted on the front of the building. A qualified roofing contractor should inspect further and correct as needed

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected

 The masonry chimney has loose mortar. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

 (1) The siding was deteriorated on bottom edge along the front and rear of the building (refer to pictures). Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.

2.1 DOORS (Exterior)

Inspected

  (1) The main entry door was missing hinge screws. A qualified contractor should inspect and repair as needed.

 (2) The access door to the crawlspace did not completely seal the opening, allowing pest entry. I

recommend a licensed professional contractor repair as needed.

2.2 WINDOWS

Inspected, Repair or Replace



The window frames have open caulking joints at most windows. Deterioration may occur if not corrected. A qualified person should repair or replace as needed.

2.6 OTHER

Inspected, Repair or Replace



The significant wood to soil contact should be removed from the rear of the building. This task should be performed in order to provide a less conducive environment for wood destroying organisms.

3. Garage

3.1 GARAGE WALLS

Inspected, Repair or Replace



(1) The wall that separates garage from heated space had damaged fire taping and some holes that should be filled. This is considered unsafe until corrected. A qualified person should correct for safety.



(2) Signs of apparent fungi growth is present garage wall (s). We did not inspect, test or determine if this growth is or is not a health hazard. The underlying cause is moisture. I recommend you clean and monitor this area for moisture and repair the moisture conditions if necessary.

More information here: <http://www.epa.gov/mold/>

3.3 GARAGE DOOR (S)

Inspected, Repair or Replace



The garage door at the front of the building did not close or seal tight at floor. This is for your information. A qualified person should repair or replace as needed.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace



(1) The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>



(2) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.



(3) The automatic opener for garage door at the front of the building had loose a connection where the opener attaches to the door. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.

4. Interiors

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace



(1) The bifold door had a missing track roller at the washer/dryer room. This is for your information. A qualified person should repair or replace as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Repair or Replace

The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.

5.6 ROOF STRUCTURE AND ATTIC**Inspected**

(1) The roof sheathing has signs of condensation and apparent fungal growth in areas. Signs of fungi growth indicate that there is too much moisture vapor in the attic. Proper steps to reduce the home's moisture should be taken along with the sealing of the bypasses noted in the attic, to prevent warm, moist house air from readily entering the attic. A insulation/sealing contractor should perform repairs to the bypasses. A qualified, licensed mold remediation should also be performed.

More information on attic moisture and mold: <https://structuretech1.com/mold-in-the-attic/>

The EPA has further information: [Moisture management](#).

6. Plumbing System**6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS****Inspected, Repair or Replace**

(1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES**Inspected, Repair or Replace**

(1) The outside water faucets do not have vacuum-breakers (anti-siphon valves) installed at the front and rear. The valves prevent harmful liquids from entering your water system and should be installed to improve the safety of the building. A qualified licensed plumber should repair or correct as needed.



(2) The tub faucet leaked at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS**Inspected**

The water heater was set too hot. 120F is optimal for safety and energy conservation. You should consider setting a lower temperature for safety.

**7. Electrical System****7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS****Inspected, Repair or Replace**

(1) Some labels are present, but are illegible or confusing. I recommend correcting for safety reasons.



(2) Screw(s) missing from the panel cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.



(3) The main aluminum conductors did not appear to have anti-oxidant paste. This paste is especially important on aluminum to prevent early oxidation, and corrosion. Some wire manufactures do not specify the use of the anti-oxidant however the brand of the wire can not be determined. A qualified, licensed electrician should examine the lugs, tighten if necessary and apply the anti-oxidant paste.

-  (4) Improper screw(s) are in use on the main panel cover. Screws that have a sharp point can penetrate wires that are in the panel and cause a dangerous condition. The screw(s) should be replaced with a proper screw designed for this panel.

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Repair or Replace

-  White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected

-  (1) The dryer outlet was missing cover-plate in the washer/dryer room. This is for your information. I recommend repair as needed.
-  (2) The "three-prong" outlet was missing cover-plate in the middle bedroom closet. This is for your information. I recommend repair as needed.

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Inspected, Repair or Replace

-  The outside outlet cover at the rear of the building was damaged and needs to be repaired or replaced.

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected

-   The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

-   The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

9. Insulation and Ventilation

9.0 INSULATION IN ATTIC

Inspected, Repair or Replace

-  (1) Insulation was missing or compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.
-  (2) Insulation was missing from the attic hatch. Heat loss can occur more on this home than one that

is properly insulated. A qualified person should repair or replace as needed.

9.1 INSULATION UNDER FLOOR SYSTEM

Inspected, Monitor

 The floor system was not insulated. Although this was normal when the building was built, we now know that heat loss can occur more on this building than on one that is properly insulated.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

 The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

10. Built-In Kitchen Appliances

10.2 RANGES/OVENS/COOKTOPS

Inspected

 The oven door gasket was worn. I recommend repair as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Safety Issues

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3. Garage

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace



(2) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.

6. Plumbing System

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Inspected



The water heater was set too hot. 120F is optimal for safety and energy conservation. You should consider setting a lower temperature for safety.

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inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Monitor

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2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

- (2) The artificial stone veneer transitions at the front of the building was missing the top flashing. Deterioration may occur if not corrected. I recommend monitoring this issue to determine if repairs are necessary.

Refer to installation guidelines: https://www.nextstone.com/_files/ugd/3cb45d_1c7b7c884ce3428e9f2176ffc98e2219.pdf

Exterior applications require flashing if other siding products are used above the ledger. Flashing will also cover screws used to attach the ledger for a more professional result. If flashing will not be used, fill screw holes with grout and paint.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Monitor

- (1) The eave boards at eave on the exterior shows evidence of moisture staining had darkened areas of fungus/algae growth. This is normal and the eaves should be routinely painted/cleaned as necessary. I recommend prep and paint using a qualified contractor.
- (2) The truss tails (behind gutter) at eave on the rear of the building (refer to picture(s)) had evidence of minor deterioration. This damage appears to be related to past gutter leakage that has been repaired. This issue should be monitored and repaired if future leakage/damage is noted.

4. Interiors

4.1 WALLS

Inspected, Monitor



The wall had been patched at the master bedroom where the door handle had damaged the drywall. This repair should be finished, painted and the door stop should be repaired to prevent this damage in the future.

4.5 DOORS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace



(2) The closet doors were missing at the bedrooms. This is for your information. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.2 WALLS (Structural)

Inspected, Monitor



(1) The cracks in wall at front of the garage had a small amount of displacement. The crack did indicate settlement however it appears that the crack has been in place for a long time due to the abraded edges. These cracks should be closely monitored for movement or change in shape. If changes are noted, a structural engineer should be consulted for repairs.



(2) The rear rim joist was a douglas fir 2x that had a virus when it was a tree on the stump. This wood grain can appear to be related to pests that damage house structure however it is not. No repairs or issues are noted in these sections of structure and this is for your information.

5.4 FLOORS (Structural)

Inspected



The flooring had areas of slope. This is not unusual in buildings of this age and is related to the various materials used to support the floor and various areas of repairs over the years. I recommend repair or replace as needed.

5.6 ROOF STRUCTURE AND ATTIC

Inspected



(2) Water stains are on the roofing structure around the chimney and on the rear ridge of the garage. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace



(2) The plumbing waste line shows evidence of past leakage at the master bath sink (left sink). This area should be monitored and repaired if necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace



(3) The refrigerator ice/water supply line could not observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected

-  The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT**Not Inspected**

-  The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation**9.1 INSULATION UNDER FLOOR SYSTEM****Inspected, Monitor**

-  The floor system was not insulated. Although this was normal when the building was built, we now know that heat loss can occur more on this building than on one that is properly insulated.

9.5 RADON MITIGATION SYSTEM**Not Present**

-  You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

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Normal Routine Maintenance

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The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.0 ROOF COVERINGS

Inspected



Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>

2. Exterior

2.1 DOORS (Exterior)

Inspected



(1) The main entry door was missing hinge screws. A qualified contractor should inspect and repair as needed.

2.2 WINDOWS

Inspected, Repair or Replace



The window frames have open caulking joints at most windows. Deterioration may occur if not corrected. A qualified person should repair or replace as needed.

8. Heating / Central Air Conditioning

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

 The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

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1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Masonry Metal Flue Pipe		

Inspection Items

1.0 ROOF COVERINGS

Comments: Inspected

 Moss noted on the shaded sections of the roof. Moss is best treated chemically annually with as little disturbance to the shingles as possible.

Refer here for more information: <http://salemoregonhomeinspector.com/2011/01/13/i-have-moss-all-over-my-roof-now-what/>



1.0 Item 1(Picture)

1.1 FLASHINGS

Comments: Inspected, Repair or Replace

- 🔧 The roof-to-wall (apron) flashing was loose and could be vulnerable to water intrusion. Noted on the front of the building. A qualified roofing contractor should inspect further and correct as needed

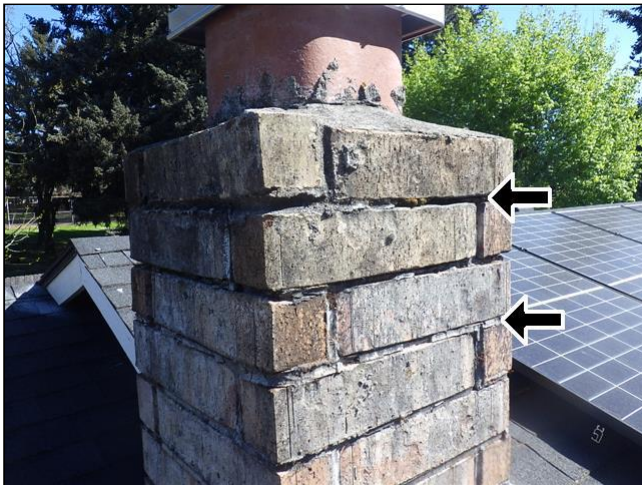


1.1 Item 1(Picture)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Comments: Inspected

- 🔧 The masonry chimney has loose mortar. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.



1.2 Item 1(Picture)



1.2 Item 2(Picture)

1.3 ROOF DRAINAGE SYSTEMS

Comments: Inspected

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Panel	Plywood	Composite
T-111		
Driveway:	Retaining wall that Affects the Building:	
Concrete	None	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

(1) The siding was deteriorated on bottom edge along the front and rear of the building (refer to pictures). Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 1(Picture)



2.0 Item 2(Picture)



2.0 Item 3(Picture)

(2) The artificial stone veneer transitions at the front of the building was missing the top flashing.

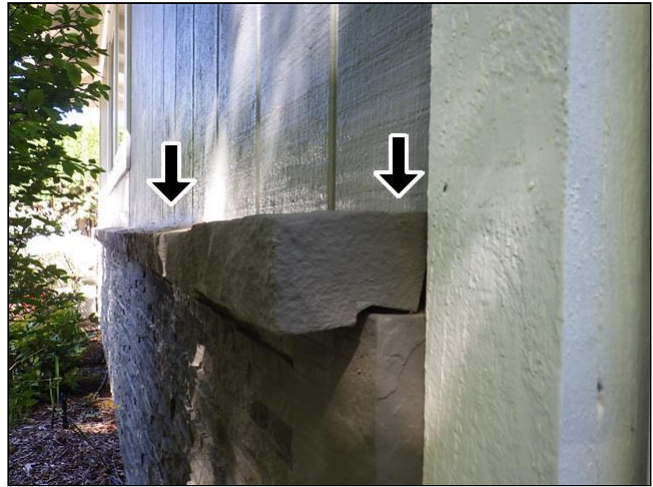
Deterioration may occur if not corrected. I recommend monitoring this issue to determine if repairs are necessary.

Refer to installation guidelines: https://www.nextstone.com/_files/ugd/3cb45d_1c7b7c884ce3428e9f2176ffc98e2219.pdf

Exterior applications require flashing if other siding products are used above the ledger. Flashing will also cover screws used to attach the ledger for a more professional result. If flashing will not be used, fill screw holes with grout and paint.



2.0 Item 4(Picture)



2.0 Item 5(Picture)

2.1 DOORS (Exterior)

Comments: Inspected

-  (1) The main entry door was missing hinge screws. A qualified contractor should inspect and repair as needed.
-  (2) The access door to the crawlspace did not completely seal the opening, allowing pest entry. I recommend a licensed professional contractor repair as needed.



2.1 Item 1(Picture)

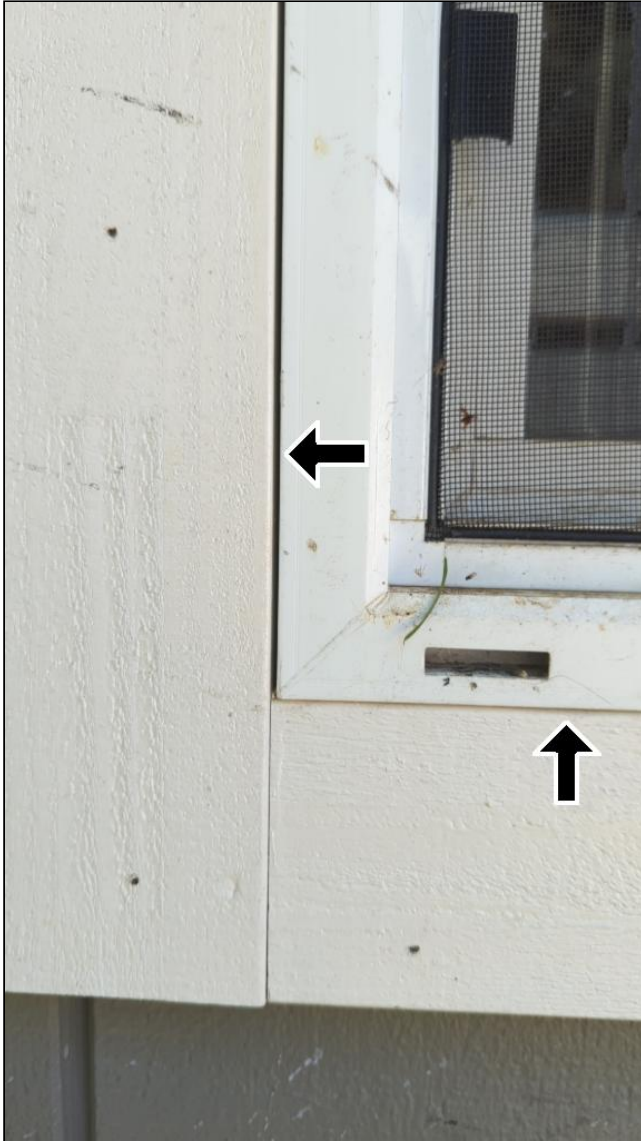


2.1 Item 2(Picture)

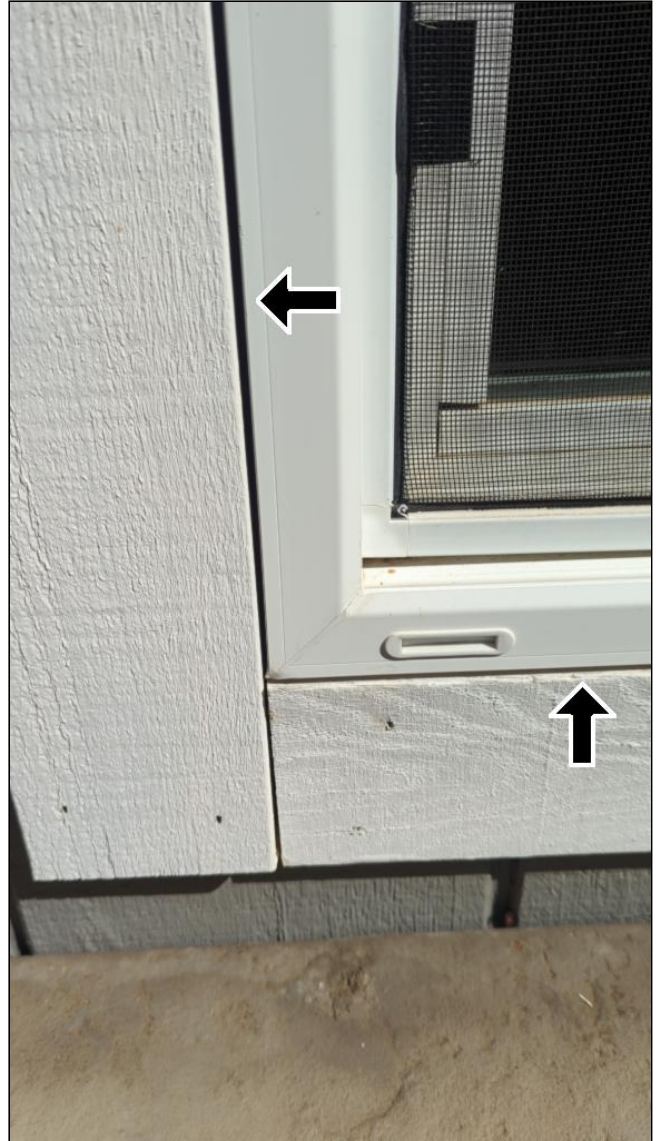
2.2 WINDOWS

Comments: Inspected, Repair or Replace

 The window frames have open caulking joints at most windows. Deterioration may occur if not corrected. A qualified person should repair or replace as needed.



2.2 Item 1(Picture)



2.2 Item 2(Picture)

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Monitor

- 🔍 (1) The eave boards at eave on the exterior shows evidence of moisture staining had darkened areas of fungus/algae growth. This is normal and the eaves should be routinely painted/cleaned as necessary. I recommend prep and paint using a qualified contractor.



2.5 Item 1(Picture)



2.5 Item 2(Picture)

- 🔍 (2) The truss tails (behind gutter) at eave on the rear of the building (refer to picture(s)) had evidence of minor deterioration. This damage appears to be related to past gutter leakage that has been repaired. This issue should be monitored and repaired if future leakage/damage is noted.



2.5 Item 3(Picture)

2.6 OTHER

Comments: Inspected, Repair or Replace

- 🔨 The significant wood to soil contact should be removed from the rear of the building. This task should be performed in order to provide a less conducive environment for wood destroying organisms.



2.6 Item 1(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments.



Styles & Materials

Garage Door Type:
One automatic

Garage Door
Material:
Metal

Auto-opener
Manufacturer:
GENIE

Did the Garage Door Opener Reverse when met with
Resistance?:
No

Inspection Items

3.0 GARAGE CEILINGS

Comments: Inspected

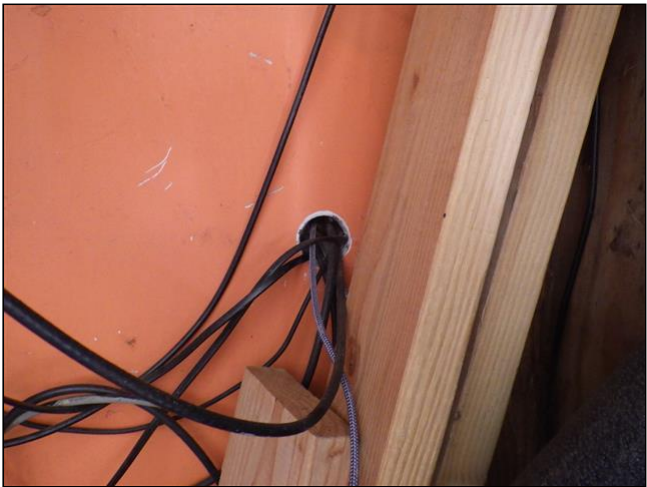
3.1 GARAGE WALLS

Comments: Inspected, Repair or Replace

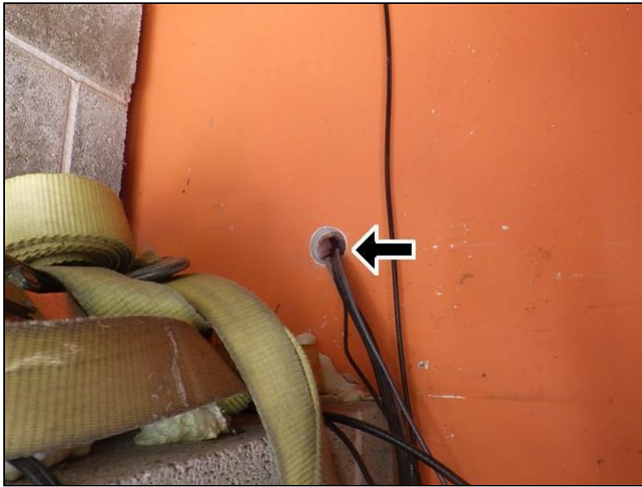
(1) The wall that separates garage from heated space had damaged fire taping and some holes that should be filled. This is considered unsafe until corrected. A qualified person should correct for safety.



3.1 Item 1(Picture)



3.1 Item 2(Picture)



3.1 Item 3(Picture)

- ⚠ (2) Signs of apparent fungi growth is present garage wall (s). We did not inspect, test or determine if this growth is or is not a health hazard. The underlying cause is moisture. I recommend you clean and monitor this area for moisture and repair the moisture conditions if necessary.

More information here: <http://www.epa.gov/mold/>



3.1 Item 4(Picture)

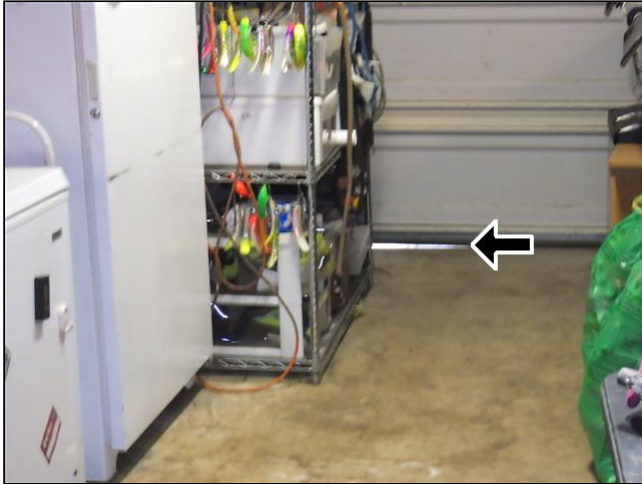
3.2 GARAGE FLOOR

Comments: Inspected

3.3 GARAGE DOOR (S)

Comments: Inspected, Repair or Replace

- 🔧 The garage door at the front of the building did not close or seal tight at floor. This is for your information. A qualified person should repair or replace as needed.



3.3 Item 1(Picture)

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

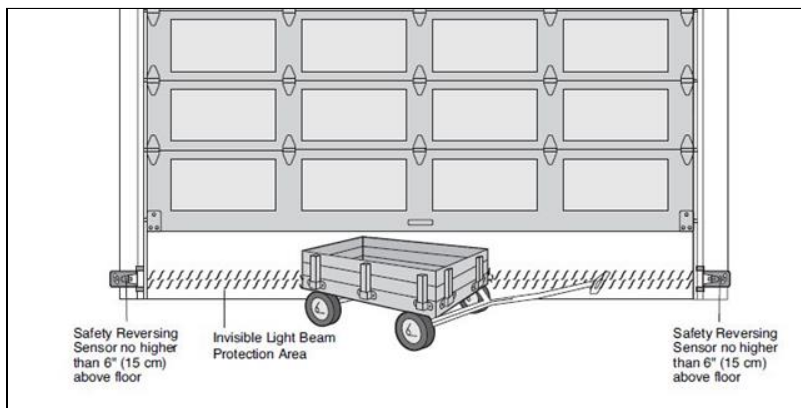
Comments: Inspected

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

- 🔧 (1) The automatic opener for garage door has electric eyes that have been installed higher than 6 inches off the ground. This is considered unsafe, is contrary to manufactures directions and needs correcting. A qualified contractor should inspect and repair as needed.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2010/12/20/electric-eyes-save-indiana-jones/>



3.5 Item 1(Picture)



3.5 Item 2(Picture)

(2) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.

**WARNING**



Child can be pinned under automatic garage door. ***Death or serious injury can result.***

- Never let child walk or run under moving door.
- Never let child use door opener controls.
- Always keep moving door in sight.
- If person is pinned, push control button or use emergency release.

- Test door opener monthly:
 - Refer to your owner's manual.
 - Place one-inch object (or 2x4 laid flat) on floor. 
 - If door fails to reverse on contact, adjust opener.
 - If opener still fails to reverse door, repair or replace opener.

Do not remove or paint over this label.
Mount wall control out of child's reach
(at least 5 feet above floor).
Place next to wall control.

114A1529

Copyright 1992

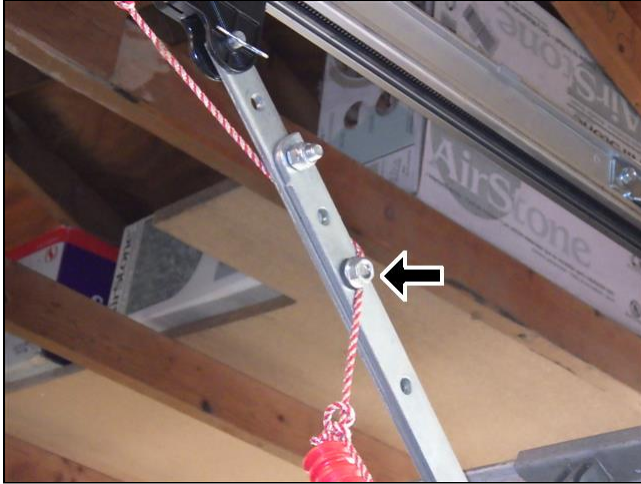
3.5 Item 3(Picture) Garage door test

3.5 Item 4(Picture)

611 Rockwood St SE

Page 29 of 68

- 🔧 (3) The automatic opener for garage door at the front of the building had loose a connection where the opener attaches to the door. This should be repaired/replaced. A qualified contractor should inspect and repair as needed.



3.5 Item 5(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Laminate Ceramic Tile
Interior Doors: Hollow core	Window Types: Thermal/Insulated	Window Manufacturer: JELD-WEN
Cabinetry: Wood	Countertop: Granite Slab Butcher Block	

Inspection Items

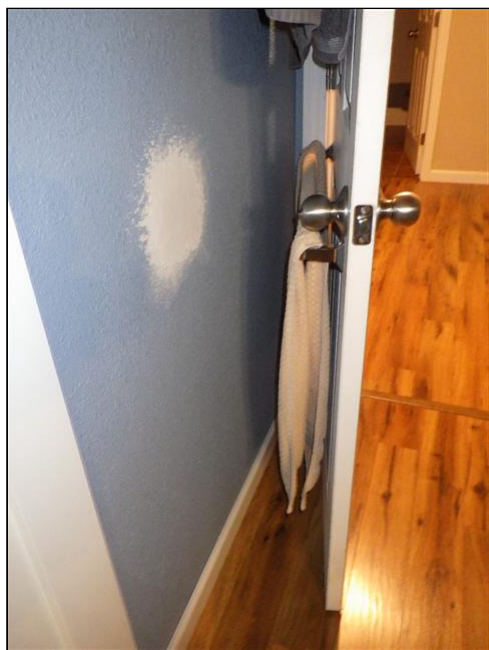
4.0 CEILINGS

Comments: Inspected

4.1 WALLS

Comments: Inspected, Monitor

 The wall had been patched at the master bedroom where the door handle had damaged the drywall. This repair should be finished, painted and the door stop should be repaired to prevent this damage in the future.



4.1 Item 1(Picture)

4.2 FLOORS

Comments: Inspected

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)**Comments:** Inspected, Repair or Replace

(1) The bifold door had a missing track roller at the washer/dryer room. This is for your information. A qualified person should repair or replace as needed.



4.5 Item 1(Picture)

🔍 (2) The closet doors were missing at the bedrooms. This is for your information. A qualified contractor should inspect and repair as needed.



4.5 Item 2(Picture)



4.5 Item 3(Picture)

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe Crawlspace: Crawled	Floor Structure: Wood beams
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Sight-built wood trusses
Roof-Type: Gable Hip Hybrid	Method used to observe attic: From entry	

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES
Comments: Inspected, Repair or Replace

- 🔧 The wood/cellulose construction debris should be removed from the crawlspace. The excess wood that is under the building can be an excellent home base for wood destroying organisms, allowing them to multiply. When the wood runs out or the wood destroying organisms start looking for more they may look to your building. In general all pieces large enough to be caught in a garden rake should be removed.



5.0 Item 1(Picture)



5.0 Item 2(Picture)



5.0 Item 3(Picture)



5.0 Item 4(Picture)

5.1 CRAWLSPACE MOISTURE

Comments: Inspected

5.2 WALLS (Structural)

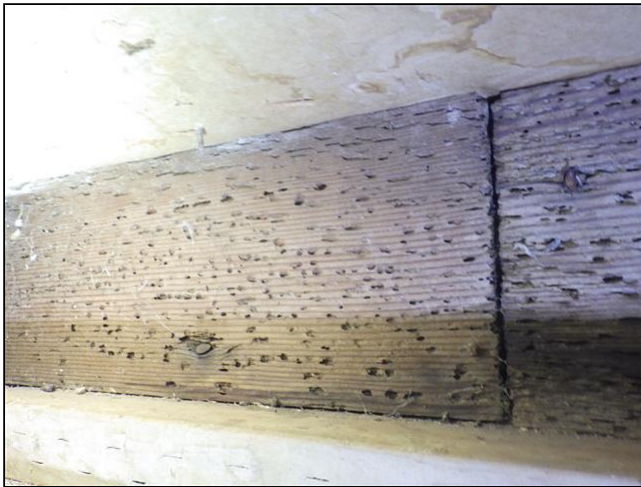
Comments: Inspected, Monitor

- 🔍 (1) The cracks in wall at front of the garage had a small amount of displacement. The crack did indicate settlement however it appears that the crack has been in place for a long time due to the abraded edges. These cracks should be closely monitored for movement or change in shape. If changes are noted, a structural engineer should be consulted for repairs.



5.2 Item 1(Picture)

- 🔍 (2) The rear rim joist was a douglas fir 2x that had a virus when it was a tree on the stump. This wood grain can appear to be related to pests that damage house structure however it is not. No repairs or issues are noted in these sections of structure and this is for your information.



5.2 Item 2(Picture)



5.2 Item 3(Picture)

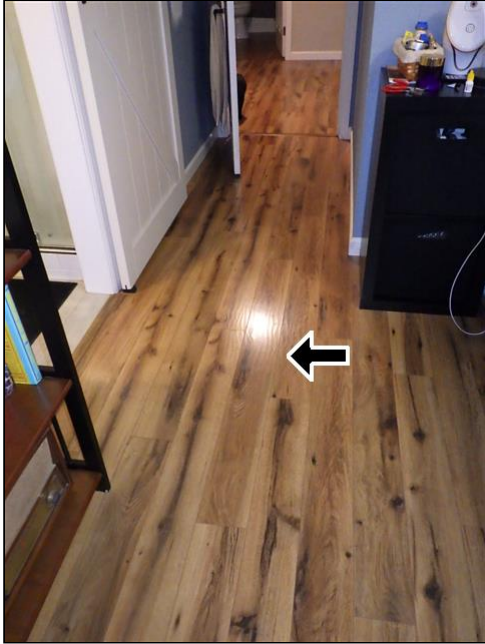
5.3 COLUMNS OR PIERS

Comments: Inspected

5.4 FLOORS (Structural)

Comments: Inspected

- 🔍 The flooring had areas of slope. This is not unusual in buildings of this age and is related to the various materials used to support the floor and various areas of repairs over the years. I recommend repair or replace as needed.



5.4 Item 1(Picture)

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

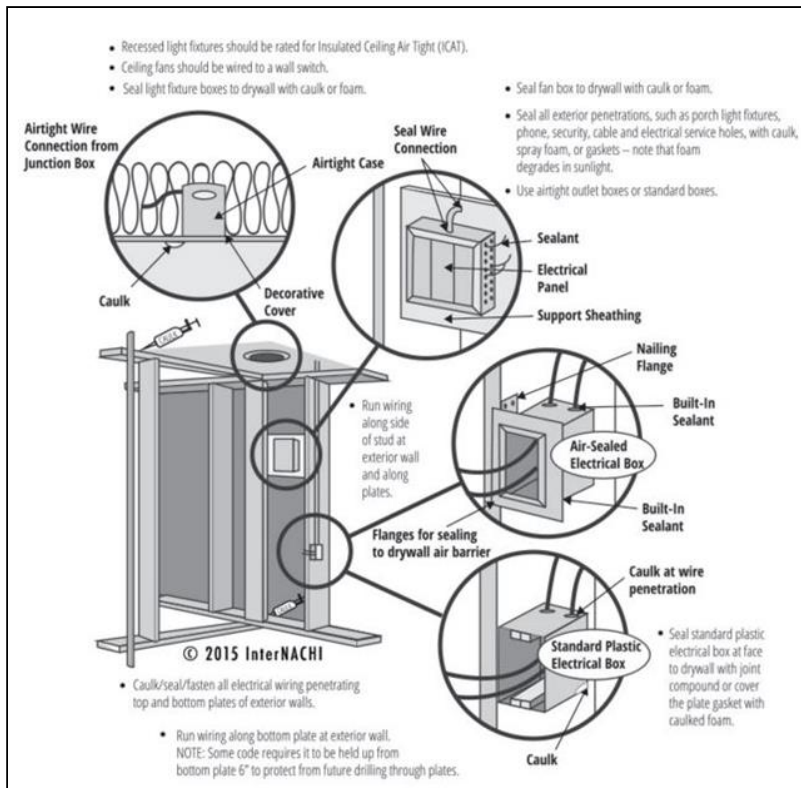
Comments: Inspected



(1) The roof sheathing has signs of condensation and apparent fungal growth in areas. Signs of fungi growth indicate that there is too much moisture vapor in the attic. Proper steps to reduce the home's moisture should be taken along with the sealing of the bypasses noted in the attic, to prevent warm, moist house air from readily entering the attic. A insulation/sealing contractor should perform repairs to the bypasses. A qualified, licensed mold remediation should also be performed.

More information on attic moisture and mold: <https://structuretech1.com/mold-in-the-attic/>

The EPA has further information: [Moisture management.](#)



5.6 Item 1(Picture)



5.6 Item 2(Picture)



5.6 Item 3(Picture)

- 🔍 (2) Water stains are on the roofing structure around the chimney and on the rear ridge of the garage. The stains appear to be related to the previous roofing and no current leakage was observed at the time of the inspection. It is recommend to monitor after a heavy rain and repair if needed.



5.6 Item 4(Picture)



5.6 Item 5(Picture)

5.7 WOOD DESTROYING ORGANISMS

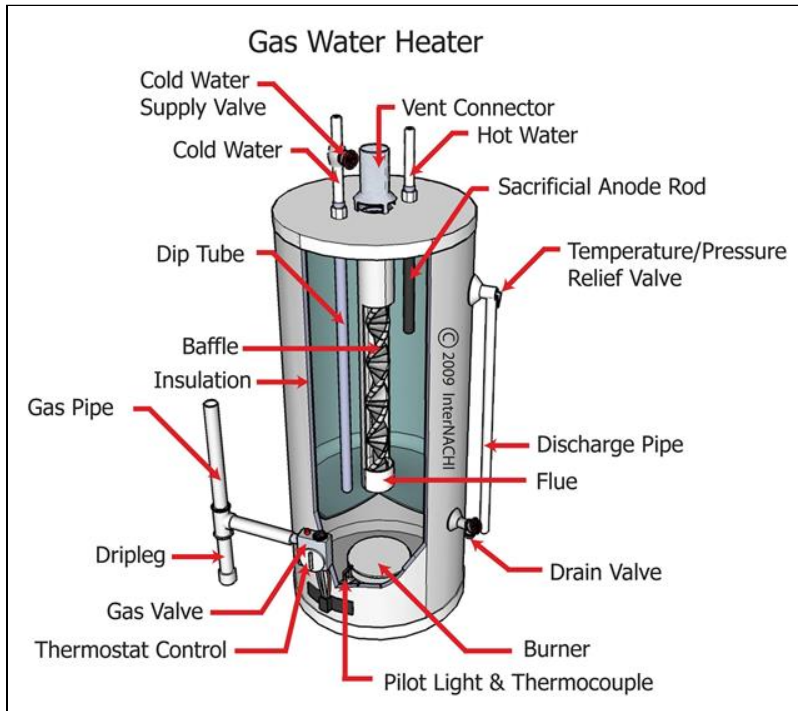
Comments: Inspected

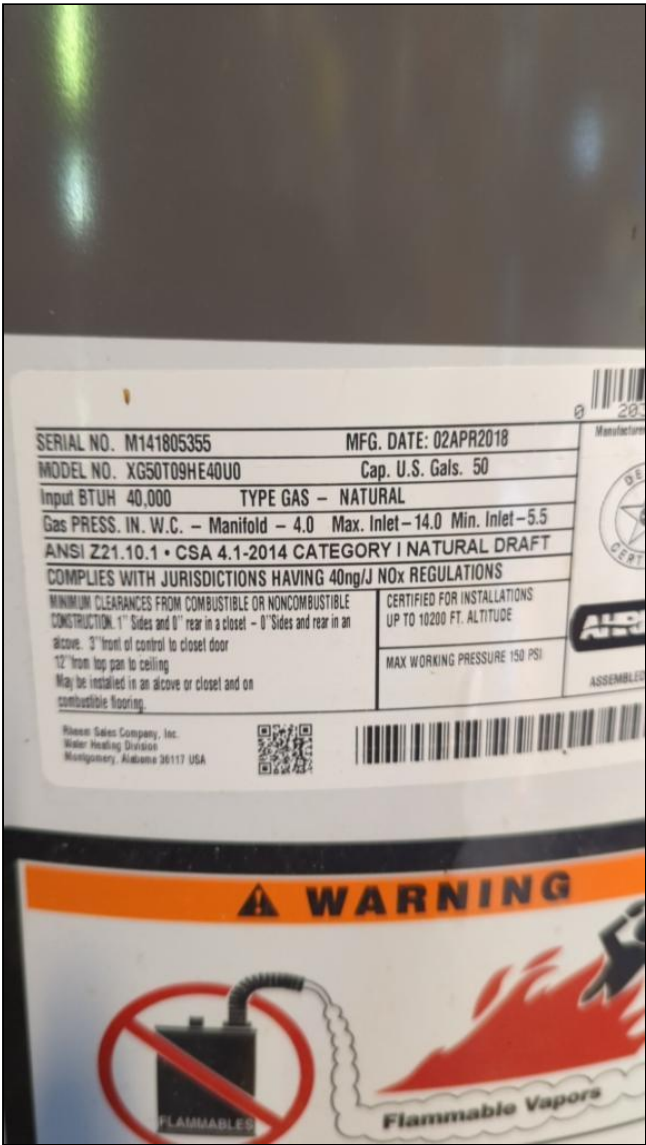
No activity could be observed at the time of the inspection.

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





Styles & Materials

Water Source: Well	Plumbing Water Supply (into building): Copper	Plumbing Water Distribution (inside building): Copper PEX (Cross-Linked Polyethylene)
Washer Drain Size: 2" Diameter	Plumbing Waste/Vent: ABS	Water Heater Power Source: Gas
Water Heater Capacity: 50 Gallon (2-3 Bathrooms)	Manufacturer: RHEEM	Approximate Year of the Water Heater(s): 2018

Inspection Items

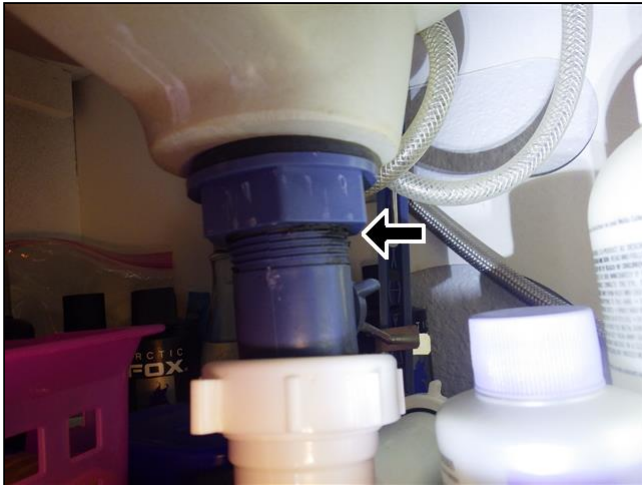
6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS
Comments: Inspected, Repair or Replace

- 🔧 (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.



6.0 Item 1(Picture)

- 🔍 (2) The plumbing waste line shows evidence of past leakage at the master bath sink (left sink). This area should be monitored and repaired if necessary.

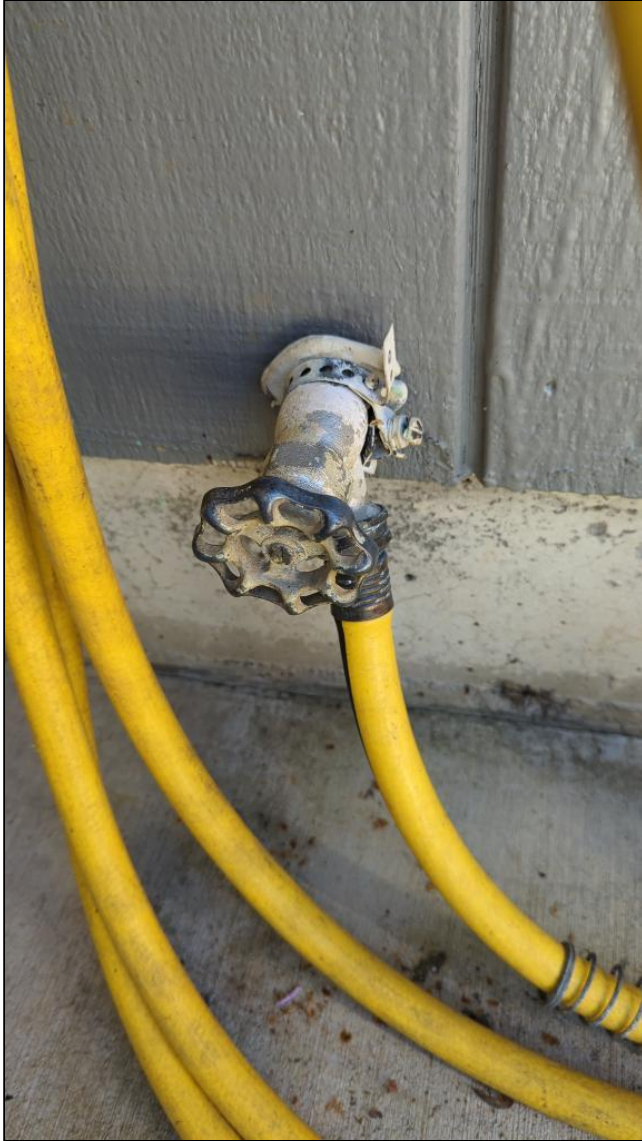


6.0 Item 2(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The outside water faucets do not have vacuum-breakers (anti-siphon valves) installed at the front and rear. The valves prevent harmful liquids from entering your water system and should be installed to improve the safety of the building. A qualified licensed plumber should repair or correct as needed.



6.1 Item 1(Picture)

-  (2) The tub faucet leaked at the hall bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 3(Picture)

- 6.1 Item 2(Picture)
-  (3) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

- Comments:** Inspected
-  The water heater was set too hot. 120F is optimal for safety and energy conservation. You should consider setting a lower temperature for safety.
- 

Time/Temperature Relationship in Scalds	
Water Temperature	Time To Produce a Serious Burn
120°F	More than 5 minutes
125°F	1½ to 2 minutes
130°F	About 30 seconds
135°F	About 10 seconds
140°F	Less than 5 seconds
145°F	Less than 3 seconds
150°F	About 1½ seconds
155°F	About 1 second

Table courtesy of Shriners Burn Institute

6.2 Item 1(Picture)



6.2 Item 2(Picture)

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut off was located outside in the ground.



6.3 Item 1(Picture)

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside

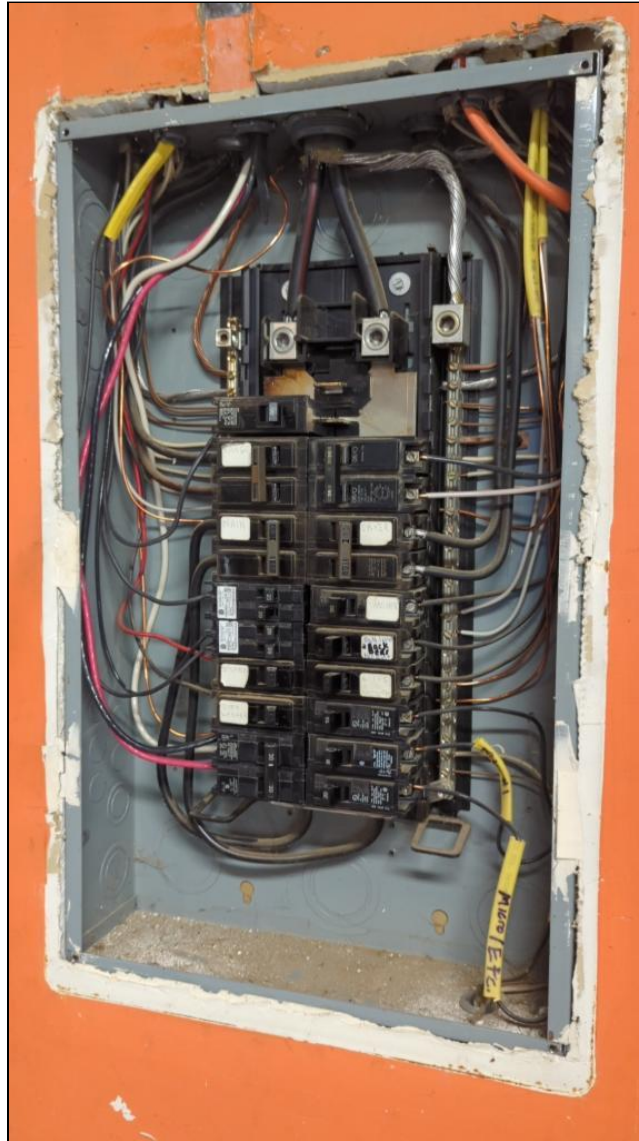


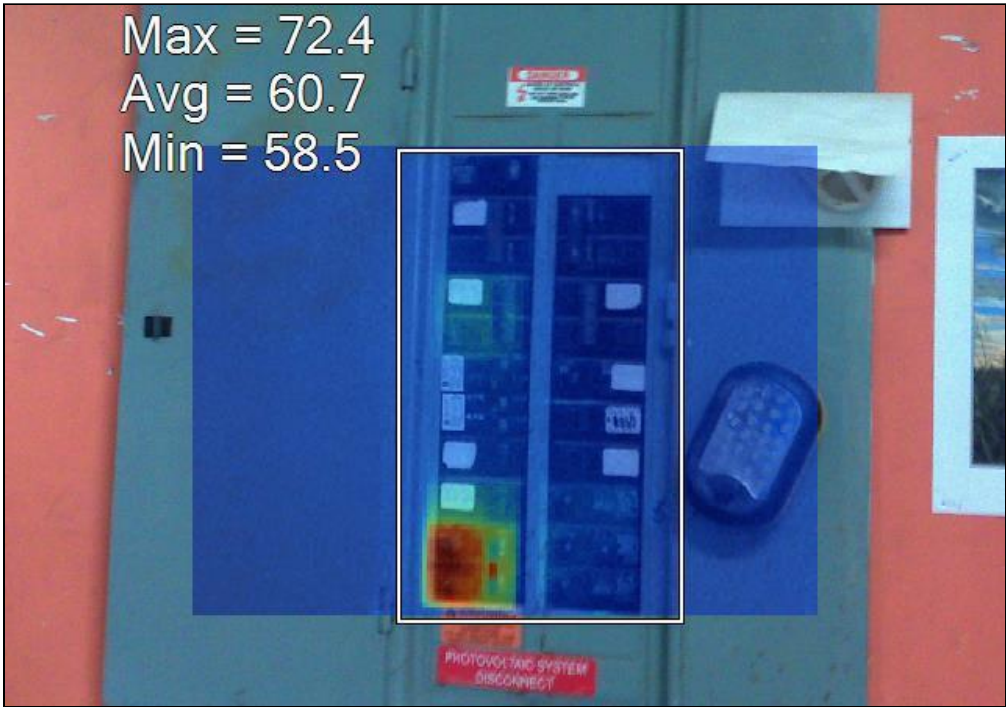
6.5 Item 1(Picture)

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The inspector shall report any observed small gauge aluminum branch circuit wiring. The inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load

Styles & Materials

Electrical Service Conductors: Overhead service Aluminum 240 volts	Panel capacity: 150 AMP	Electric Panel Manufacturer: ITE
Panel Type: Circuit breakers	Sub Panel Manufacturer: None	Branch wire 15 and 20 AMP: Copper
Wiring Methods: Non Metallic sheathed Cable		

Inspection Items

7.0 SERVICE ENTRANCE CONDUCTORS Comments: Inspected
7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS Comments: Inspected, Repair or Replace

🔧 (1) Some labels are present, but are illegible or confusing. I recommend correcting for safety reasons.



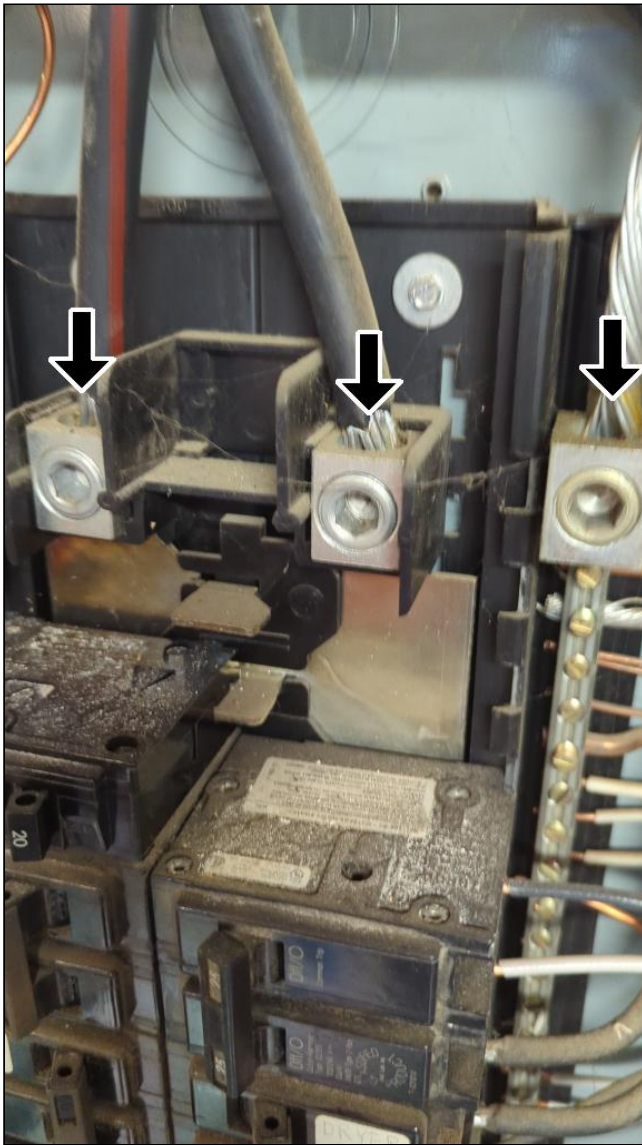
7.1 Item 1(Picture)

- 🔧 (2) Screw(s) missing from the panel cover. All of the screws should be installed for the cover to function properly in an emergency over-current situation. The screw(s) should be replaced with a proper screw designed for this panel.



7.1 Item 2(Picture)

- ⚡ (3) The main aluminum conductors did not appear to have anti-oxidant paste. This paste is especially important on aluminum to prevent early oxidation, and corrosion. Some wire manufactures do not specify the use of the anti-oxidant however the brand of the wire can not be determined. A qualified, licensed electrician should examine the lugs, tighten if necessary and apply the anti-oxidant paste.



7.1 Item 3(Picture)

- 🔧 (4) Improper screw(s) are in use on the main panel cover. Screws that have a sharp point can penetrate wires that are in the panel and cause a dangerous condition. The screw(s) should be replaced with a proper screw designed for this panel.

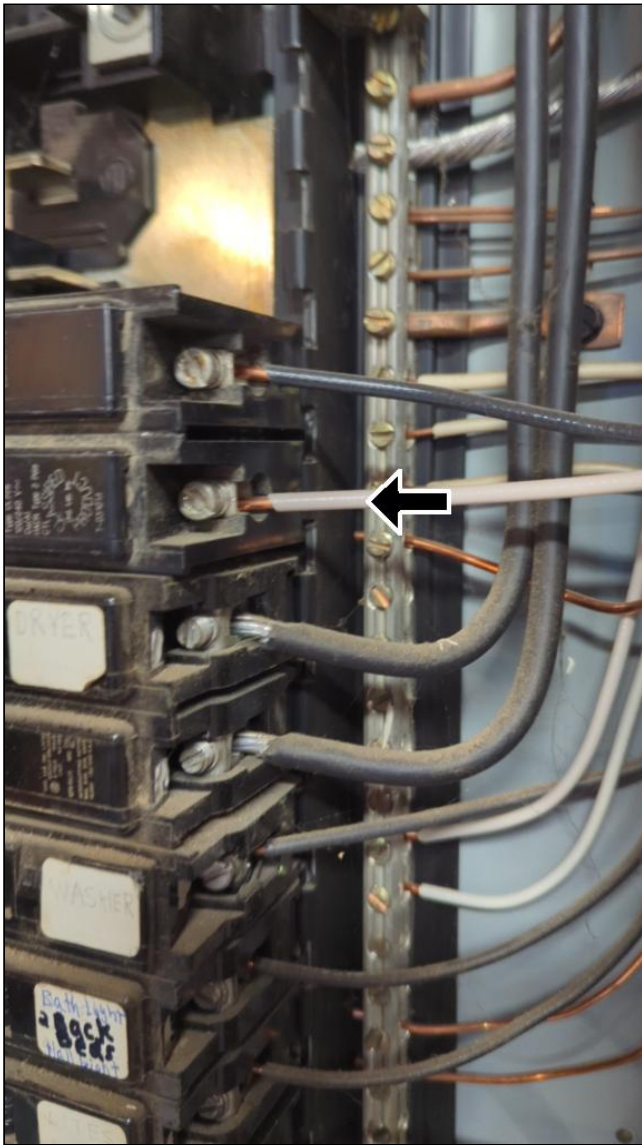


7.1 Item 4(Picture)

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected, Repair or Replace

- 🔧 White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 1(Picture)

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Comments: Inspected

- 🔧 (1) The dryer outlet was missing cover-plate in the washer/dryer room. This is for your information. I recommend repair as needed.



7.3 Item 1(Picture)

- 🔧 (2) The "three-prong" outlet was missing cover-plate in the middle bedroom closet. This is for your information. I recommend repair as needed.



7.3 Item 2(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected, Repair or Replace

🔧 The outside outlet cover at the rear of the building was damaged and needs to be repaired or replaced.



7.4 Item 1(Picture)

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected

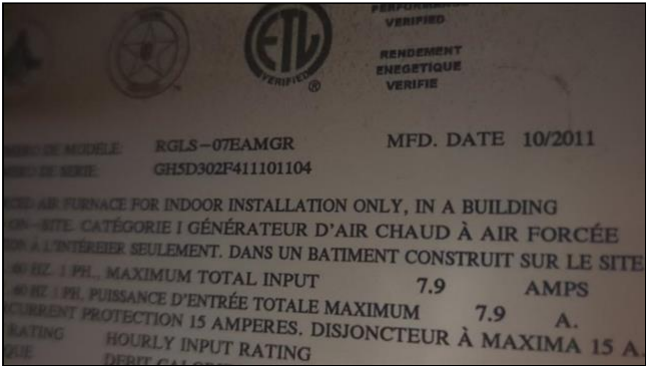
7.8 CARBON MONOXIDE DETECTORS

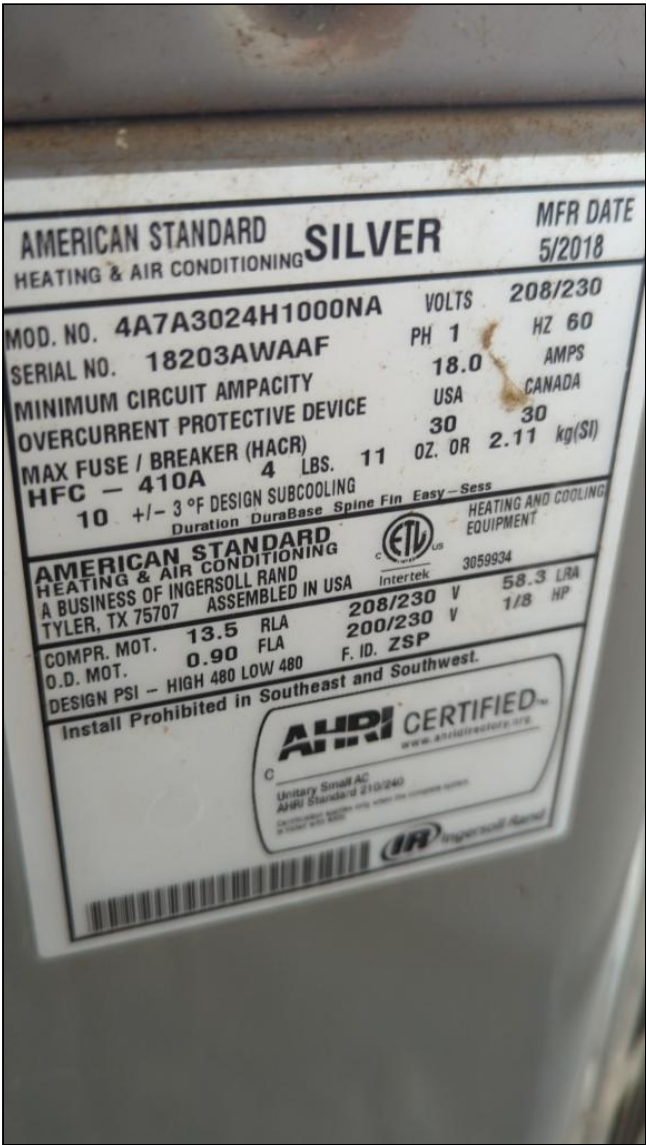
Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.





Styles & Materials

Heat Type: Forced Air	Energy Source: Natural gas	Heat System Brand: RHEEM
Approximate age of Furnace/boiler: 2011	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 14x20	Types of Fireplaces: Solid Fuel Conventional	Number of Installed Woodstoves: None
Cooling Equipment Type: Split system Air conditioner unit	Cooling Equipment Energy Source: Electricity	Central Air Manufacturer: AMERICAN STANDARD
Number of AC Only Units: One	Approximate age of Central Air Equipment: 2018	

Inspection Items

8.0 HEATING EQUIPMENT
Comments: Inspected

-  The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.
- 



8.0 Item 1(Picture)

8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected, Repair or Replace

 The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>



8.3 Item 1(Picture)

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Inspected

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Not Present

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Inspected

 The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

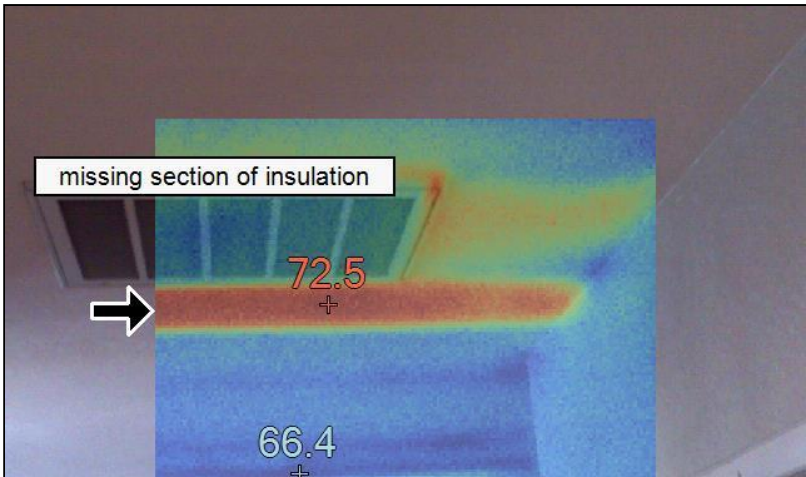
Attic Insulation:	Ventilation:	Exhaust Fans:
Blown	Roof vents	Fan only
Batt	Soffit Vents	
Fiberglass		
R-19 or better		
Dryer Power Source:	Dryer Vent:	Floor System Insulation:
240 Electric	Metal	Reflective system (foil, radiant reflector)
Gas Connection		
Both (your choice)		
Vapor Retarder/Barrier:		
Black Plastic		

Inspection Items

9.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

 (1) Insulation was missing or compressed in sections of the attic. Heat loss can occur more on this building than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)

🔧 (2) Insulation was missing from the attic hatch. Heat loss can occur more on this home than one that is properly insulated. A qualified person should repair or replace as needed.



9.0 Item 4(Picture)

9.1 INSULATION UNDER FLOOR SYSTEM

Comments: Inspected, Monitor

- 🔧 The floor system was not insulated. Although this was normal when the building was built, we now know that heat loss can occur more on this building than on one that is properly insulated.

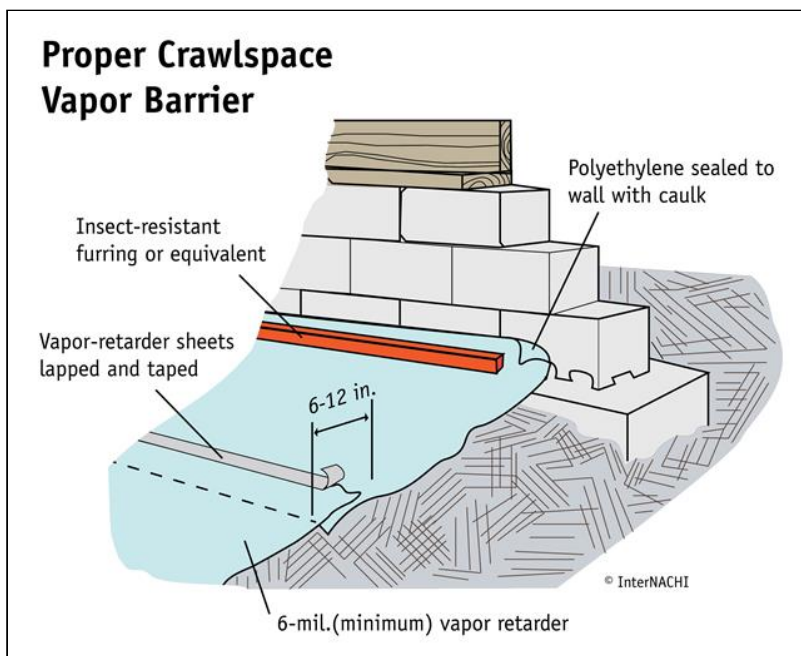


9.1 Item 1(Picture)

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

- 🔧 The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



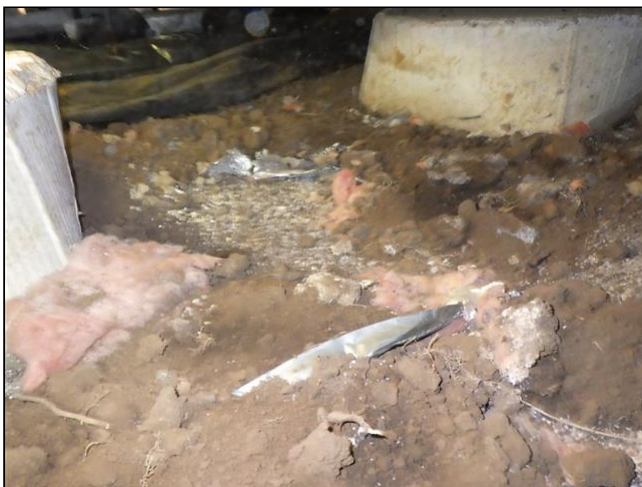
9.2 Item 2(Picture)



9.2 Item 3(Picture)



9.2 Item 4(Picture)



9.2 Item 5(Picture)

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Comments: Inspected

9.4 VENTING SYSTEMS (Baths and laundry)

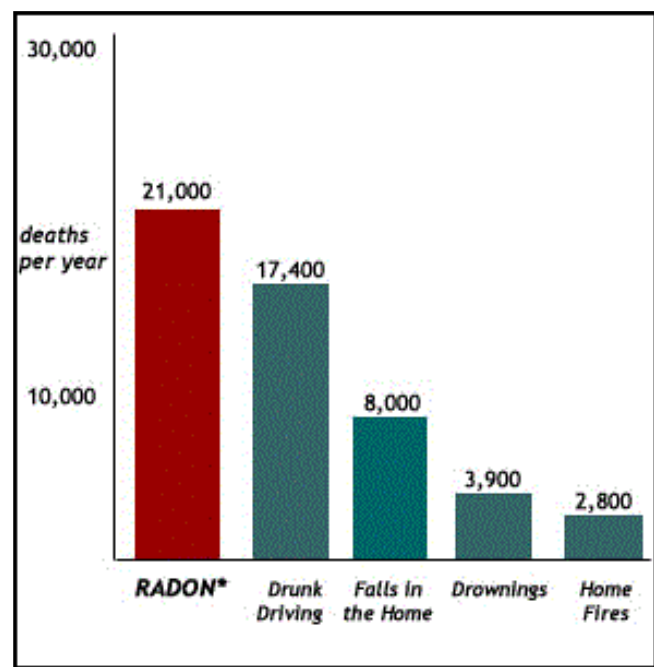
Comments: Inspected

9.5 RADON MITIGATION SYSTEM

Comments: Not Present

🔍 You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

Disposer Brand:	Installed Dishwasher Brand:	Range/Oven/Cooktop:
TITAN	LG	LG
Kitchen Exhaust/Range hood:	Built in Microwave:	Trash Compactors:
COOKER HOOD	NONE	NONE

Inspection Items

10.0 FOOD WASTE DISPOSER

Comments: Inspected

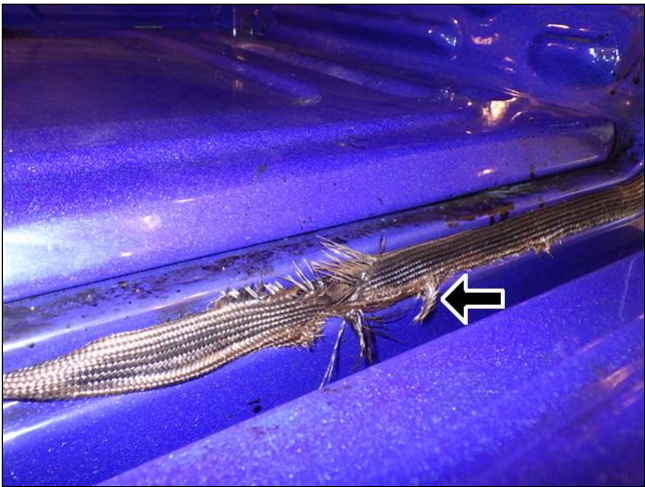
10.1 INSTALLED DISHWASHER

Comments: Inspected

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected

 The oven door gasket was worn. I recommend repair as needed.



10.2 Item 1(Picture)

10.3 RANGE HOOD/KITCHEN VENT

Comments: Inspected

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT

Comments: Inspected

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Oregon Standards of Practice for Home Inspections](#)

[Consumer Protection Notice](#)