

Perfection[✓] Inspection, Inc

Philip Hoffman

**Property Address:
2840 Bolton Terrace S
Salem OR 97302**



11/20/2023

Jim Allhiser

CCB#179533 OCHI#916

THIS REPORT IS INTENDED ONLY FOR THE USE OF THE PERSON PURCHASING THE BUILDING INSPECTION SERVICES. NO OTHER PERSON, INCLUDING A PURCHASER OF THE INSPECTED PROPERTY WHO DID NOT PURCHASE THE BUILDING INSPECTION SERVICES, MAY RELY UPON ANY REPRESENTATION MADE IN THE REPORT.

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J. C. President



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Date: 11/20/2023	Time: 09:00 AM	Report ID: 20231120-2840-Bolton-Terrace-S
Property: 2840 Bolton Terrace S Salem OR 97302	Customer: Philip Hoffman	Real Estate Professional: Melina Tomson Tomson Burnham

Comment Key or Definitions

The following definitions of comment descriptions represent this inspection report. All comments by the inspector should be fully read and understood. Any recommendations by the inspector to repair or replace suggests a second opinion or further inspection by a qualified contractor. All costs associated with further inspection fees and repair or replacement of item, component or unit should be considered.

Inspected = I visually observed the item, component or unit and if no other comments were made then it appeared to be functioning as intended allowing for normal wear and tear.

Not Inspected = I did not inspect this item, component or unit and made no representations of whether or not it was functioning as intended and will state a reason for not inspecting.

Not Present = This item, component or unit is not in this home or building.

 **Repair or Replace** = The item, component or unit is not functioning as intended, or needs further inspection by a qualified contractor. Items, components or units that can be repaired to satisfactory condition may not need replacement.

 **Safety** = This item or component has shown evidence of significant safety issues that may adversely affect the building and/or its occupants. Repair or replacement of the item or component is highly advised.

 **Monitor** = This item, component or unit is currently functioning correctly however it may be vulnerable. Attention should be paid to this item, component or unit and may need to be maintained, repaired, or replaced to ensure proper operation.

 **Normal Routine Maintenance** = This item, component or unit is something that is for your information or that will need to be routinely improved, reapplied, or updated as a course of normal wear.

This building is older than 50 years and the inspector considers this while inspecting. It is common to have areas that no longer comply with current code. This is not a new building and it cannot be expected to meet current code standards. While this inspection makes every effort to point out safety issues, it does not inspect for code. It is common that buildings of any age will have had repairs performed and some repairs may not be in a workmanlike manner. Some areas may appear less than standard. This inspection looks for items that are not functioning as intended. It does not grade the repair. It is common to see old plumbing or mixed materials. Sometimes water signs in crawlspaces or basements could be years old from a problem that no longer exists. Or, it may still need further attention and repair. Determining this can be difficult with a one time inspection and on an older building. Sometimes in older buildings there are signs of damage to wood from wood eating insects. Having this is typical and fairly common. If the inspection reveals signs of damage you should have a pest control company inspect further for activity and possible hidden damage. The inspection does not look for possible manufacturer re-calls on components that could be in this building. Always consider hiring the appropriate expert for any repairs or further inspection.

This inspection was performed for the owner and was inspected according to standards and practices. The comments made in this report were based on the condition of the building at time of inspection. There is no warranty from the inspection company. For a fee, our company can return and review the inspection, or inspect the building again. A proposed buyer can hire a different inspector if desired. Different inspectors can find different things sometimes on the same home. Our inspection company is not responsible for any discoveries included or not found. As this inspection report ages, the condition of this home and its components can change.

The inspection was conducted on this building while it was occupied, or at least was furnished and had storage. Furnishings and storage prevent the inspection/access to areas of the building. This creates areas of the building that could not be viewed/inspected. There may be issues that are covered/hidden that will be revealed when the storage and furniture is removed. For this reason a thorough walk through before the transaction is closed should be considered. The inspection is designed to be an overview of the major systems of the building and a representative amount of components are inspected unless otherwise listed in the report. If additional inspections are desired additional fees will apply.

Standards of Practice: Oregon State Standards of Practice	In Attendance: Seller and listing broker	Type of building: Single Family (1 story) plus basement
Approximate Year Built: 1957	Temperature: Below 40	Weather: Cloudy
Ground/Soil surface condition: Wet	Rain in last 3 days: Yes	Radon Test: No

Repair Summary

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The following items or discoveries indicate that these systems or components **do not function as intended** or **adversely affects the habitability of the dwelling**; or **warrants further investigation by a specialist**, or **requires subsequent observation**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.1 FLASHINGS

Inspected, Repair or Replace

- The roof-to-wall flashing was not installed properly and could be vulnerable to water intrusion. Noted on the front of building (refer to picture(s)). A qualified roofing contractor should inspect further and correct as needed

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

Inspected, Repair or Replace

- (1) The main center masonry chimney had loose mortar. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.
- (2) The masonry chimney crown was deteriorated. The chimney crown separates the flue from the chase and is important to prevent flue gases from entering the home. A qualified contractor should inspect and repair as needed.

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

- (1) The downspouts need to carry water at least 10 feet away from the building at the front of the building. A licensed professional contractor should repair this issue. Allowing excess storm water to dump near the building can contribute to water in the crawlspace, structure/siding deterioration and structural movement.
- (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.

2. Exterior

2.0 WALL CLADDING FLASHING AND TRIM

Inspected, Repair or Replace

-  (1) The wood trim at the cupola (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.
-  (2) Paint was worn on siding. The building should be properly prepped and painted to preserve the building envelope.
-  (3) Siding in contact with ground at rear of the building. Because the siding is in contact with ground it is possible for framing to be deteriorated. We did not inspect behind this siding. Recommend a ground clearance of six to eight inches where possible.
-  (4) The wood siding at the rear of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.

2.2 WINDOWS

Inspected, Repair or Replace

-  (1) The wood trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.
-  (2) The glazing putty that holds the glass in the sash is failing at some windows. A qualified person should repair and re-putty as necessary. This is a normal maintenance item.

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

-   (1) The plants should be trimmed or removed from contact with the building. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.
-  (2) The concrete drive at the front of the building was deteriorated in areas. This is normal for this age driveway. I recommend repair as desired.

2.5 EAVES, SOFFITS AND FASCIAS

Inspected, Repair or Replace

-  The rake rafter on the rear roof slope show signs of deterioration (refer to picture). These should be repaired to prevent further damage to related components.

3. Garage

3.0 GARAGE CEILINGS

Inspected, Repair or Replace

-  (1) The plaster on the ceiling reveals water stains indicating leaks did or still exists at the garage. The thermal camera and moisture meter were used and they did not indicate a current leak at the time of the inspection. A qualified contractor should inspect and repair as needed.
-  (2) The fire resistance sheathing that separates garage from heated space was compromised. This is considered unsafe until corrected. A qualified person should correct for safety.

3.3 GARAGE DOOR (S)

Inspected, Repair or Replace

-  The garage door at the front of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Inspected, Repair or Replace

-  (1) The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor



should install a proper solid core, fire resistant door.



(2) The door between the home and the garage does not latch properly. A qualified, licensed contractor should adjust as necessary.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace



(1) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.



(2) The garage door opener was using extension cords as permanent wiring, and should have it's own outlet. An outlet should be installed near the opener. A qualified licensed electrician should inspect further and repair as needed.

4. Interiors

4.0 CEILINGS

Inspected, Monitor



(1) The plaster on the ceiling reveals water stains indicating leaks did or still exist in various areas. The thermal camera and moisture meter were used and they did not indicate current leaks at the time of the inspection. A qualified contractor should inspect and repair as needed.



(2) The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.

4.1 WALLS

Inspected, Normal Routine Maintenance Item



The plaster on the wall shows some repair signs at the rear hallway. This appears to be a cosmetic issue and is for your information.

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Inspected, Repair or Replace



The hand/guard rail for the lower level stairs had ends that did not properly terminate. Handrails should return to a wall, guard or the walking surface or shall be continuous to the handrail of an adjacent stair flight or ramp run. A repair or replacement is needed. A qualified contractor should repair or replace as needed.

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Inspected, Repair or Replace



(1) The windows show evidence of high moisture levels and condensation issues. This is a common occurrence with tightly sealed window coverings in sleeping rooms and windows that are facing the weather. I recommend cleaning the windows periodically and opening the shades in the mornings to allow the moist areas to ventilate.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2011/12/28/window-cleaning/>



(2) Most of the wood windows were stuck or painted shut. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.



(3) One window was cloudy (moisture trapped between the panes) in the master bath. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.



(4) Windows damaged at handle or lock hardware at the kitchen and guest room/office. This should be repaired. A qualified contractor should inspect and repair as needed.



(5) Several windows were cloudy (moisture trapped between the panes) in the kitchen, living room and guest room/office. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.

5. Structural Components

5.3 COLUMNS OR PIERS

Inspected, Repair or Replace

-  The support post at the rear of the building was under-cut in the crawlspace from apparent plumbing repairs. Repairs are needed. A qualified engineer should inspect and repair or replace as needed.

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-  (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
-  (2) The plumbing waste line drained slowly at the master bath (right sink). The cause of a slow drain can range from a simple debris clog at the stop valve or at the trap under the drain. Sometimes the drain can be partially clogged down line. I am unable to determine the cause of the slow drain. A qualified licensed plumber should repair or correct as needed.
-  (3) The toilet was loose at floor at the hall bath. Repairs should involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.
-  (4) The plumbing waste line drained slowly at the hall bath tub. The cause of a slow drain can range from a simple debris clog at the stop valve or at the trap under the drain. Sometimes the drain can be partially clogged down line. I am unable to determine the cause of the slow drain. A qualified licensed plumber should repair or correct as needed.
-  (5) The plumbing waste line had been repaired improperly in the rear crawlspace. PVC should not be glued directly to ABS. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (1) The shower head and control lever were loose at the guest/office bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (2) The galvanized supply line was leaking in the crawlspace under the living room. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.
-  (3) The outside water faucet leaked at the front of the building. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Monitor

-  Gas was currently being used as the energy source for heat system but it was evident that there was an oil tank that was once used. I did not look for or find the oil tank nor did I determine whether oil tank remains on property. Which means that I did not inspect the abandoned oil tank (if any) for leaks or soil contamination.

Please refer to this post for a list of things to do to determine if the tank is still on sight:

<http://salemoregonhomeinspector.com/2011/05/29/what-do-i-do-if-there-may-be-an-underground-oil-tank-for-my-home-in-salem-oregon/>

7. Electrical System

7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS

Inspected, Repair or Replace

-  The main panel did not have proper access clearances. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.

7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Inspected, Repair or Replace

-  (1) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.
-  (2) Double tap (where neutral wires share a lug designed for one) noted on the sub panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>
-  (3) Sub panel did not have properly isolated neutral and ground bars should be corrected. I recommend a licensed electrician inspect further and correct as needed.
-  (4) The 240 volt breaker handle should be bonded so that both legs of the circuit trip at the same time should be corrected on the sub panel. I recommend a licensed electrician inspect further and correct as needed.

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-  (1) Doorbell button was damaged. This should be repaired as desired.
-  (2) The light fixture did not work and was missing cover at the front of home. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.
-  (3) The wall switch purpose was unknown (could not identify) at the Guest bath. This is for your information.
-  (4) The "three-prong" outlets were not grounded throughout the building. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should correct as needed.

More information here: <http://salemoregonhomeinspector.com/2011/08/08/grounded-outlets-gfcis-seatbelts-and-airbags/>

-  (5) One loose wire end needs placing inside a box with a cover-plate in the crawlspace behind the water heater. I recommend repair as needed.
-  (6) The "three-prong" outlet installed above the baseboard heater in the lower level. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

-  (1) The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf

-  (2) The GFCI outlets at the bathrooms were non-grounded outlets. These outlets are protected by a GFCI which is more safe than a non-grounded outlet that is not protected by a GFCI, however, it should be labeled a non-grounded GFCI and it is not as safe as a grounded GFCI (for your information).

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace

-  The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)**Inspected, Repair or Replace**

-   (1) The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

-  (2) The supply duct pipe was disconnected in the crawlspace above the furnace. Energy loss is occurring in crawlspace and immediate correction is needed. A qualified HVAC person should inspect further and repair or replace as needed.

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)**Inspected, Repair or Replace**

-  Due to the limited view of the flue it is suggested that, before the heating season, you contract a qualified, professional chimney sweep to inspect the flues.

8.7 GAS/LP FIRELOGS AND FIREPLACES**Inspected, Repair or Replace**

-  The damper for fireplace at the family room clamp or lock that forces lid to stay open (required for Vented Gas/LP logs) was not functioning properly. Repairs should be made so unit works properly. A qualified contractor should inspect and repair as needed.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT**Not Inspected, Repair or Replace**

-   (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).
-  (2) The AC unit does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.
-  (3) The condensate line did not properly extend and dump out of the crawlspace. This condition can lead to moisture issues under the home. A licensed HVAC contractor should service or repair unit.

9. Insulation and Ventilation**9.0 INSULATION IN ATTIC****Inspected, Repair or Replace**

-  Fiberglass (Batts) insulation was fallen in areas of the vault in attic. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.1 INSULATION UNDER FLOOR SYSTEM**Inspected, Repair or Replace**

-  (1) The insulation was missing under the master bathroom. Heat loss can occur more in this building than from one that is properly insulated. A qualified person should repair or replace as needed.
-  (2) The insulation was deteriorated under the front bump out in the living room. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)**Inspected, Repair or Replace**

-  (1) The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier

provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.

-  (2) The vapor retarder (plastic) on the crawlspace ground under the master bedroom was a clear plastic. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. Clear plastic although functioning as a moisture retarder may not prevent plants from germinating under the home which may feed wood destroying organisms. This is for your information.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

Inspected, Repair or Replace

-  (1) The foundation has holes large enough for pests at the left side (facing front from the inside) and rear of the building. Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.
-  (2) The gable vent was missing screen at the left side (facing front from the inside). Pests should be excluded from the attic with proper screening. A qualified contractor should inspect and repair as needed.

9.4 VENTING SYSTEMS (Baths and laundry)

Inspected, Monitor

-  (1) The exhaust fan ducts point into roof vents in the attic. These ducts should have a sealed exhaust weatherhood to prevent warm moist conditioned air from entering the attic. A licensed professional contractor should repair as necessary.
-  (2) The exhaust fans were very dirty at the bathrooms. Vent fans are an important part of moisture management and dirty fans can be a safety issue as they can overheat and be a fire risk. A qualified person should clean as needed.



10. Built-In Kitchen Appliances

10.1 INSTALLED DISHWASHER

Inspected, Repair or Replace

-  The dishwasher drawer did not operate when tested. I recommend repair as necessary.

10.3 RANGE HOOD/KITCHEN VENT

Inspected, Repair or Replace

-  The range hood fan controls were loose. I recommend repair or replace as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information

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Safety Issues

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3. Garage

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Inspected, Repair or Replace


 (1) The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor should install a proper solid core, fire resistant door.

3.5 GARAGE DOOR OPERATORS

Inspected, Repair or Replace


 (1) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.

9. Insulation and Ventilation

9.4 VENTING SYSTEMS (Baths and laundry)

Inspected, Monitor



 (2) The exhaust fans were very dirty at the bathrooms. Vent fans are an important part of moisture management and dirty fans can be a safety issue as they can overheat and be a fire risk. A qualified person should clean as needed.

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Monitor

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1. Roofing

1.0 ROOF COVERINGS

Inspected, Monitor

 The roof covering has a vulnerable area at the rear of building (refer to picture(s)). This is for your information. I recommend monitoring this issue to determine if repairs are necessary.

2. Exterior

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Inspected, Monitor

 The decks have been built close to the ground. This limits the inspection and may limit air movement and ventilation. Attention should be paid to keep the exposed boards painted/stained and provide ventilation at the next deck repair.

4. Interiors

4.0 CEILINGS

Inspected, Monitor

 (1) The plaster on the ceiling reveals water stains indicating leaks did or still exist in various areas. The thermal camera and moisture meter were used and they did not indicate current leaks at the time of the inspection. A qualified contractor should inspect and repair as needed.

 (2) The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A

qualified person should repair or replace as needed.

5. Structural Components

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Inspected, Monitor

-  The crawlspace under the master bedroom and bathroom was very difficult to enter due to duct and piping. This area could only be visually inspected from the edge. This is for your information

6. Plumbing System

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS

Inspected, Repair or Replace

-   (5) The plumbing waste line had been repaired improperly in the rear crawlspace. PVC should not be glued directly to ABS. I recommend a licensed plumber inspect further and repair as necessary.

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Inspected, Repair or Replace

-  (4) The shower pan was a "curbless shower." This type of pan offers great access without a curb to potentially trip over however you should be aware that the waterproof membrane, under the tiles usually comes to the edge of the pan. You should be careful to avoid excess water outside to shower threshold to avoid damage to the wood frame in the flooring system.

Refer to this post for more information: <https://www.youtube.com/watch?v=iSd7sOWyv8I&t=4s>

-  (5) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Inspected, Monitor

-   Gas was currently being used as the energy source for heat system but it was evident that there was an oil tank that was once used. I did not look for or find the oil tank nor did I determine whether oil tank remains on property. Which means that I did not inspect the abandoned oil tank (if any) for leaks or soil contamination.

Please refer to this post for a list of things to do to determine if the tank is still on sight:

<http://salemoregonhomeinspector.com/2011/05/29/what-do-i-do-if-there-may-be-an-underground-oil-tank-for-my-home-in-salem-oregon/>

7. Electrical System

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Inspected, Repair or Replace

-   (3) The wall switch purpose was unknown (could not identify) at the Guest bath. This is for your information.

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Inspected, Repair or Replace

-   (2) The GFCI outlets at the bathrooms were non-grounded outlets. These outlets are protected by a

GFCI which is more safe than a non-grounded outlet that is not protected by a GFCI, however, it should be labeled a non-grounded GFCI and it is not as safe as a grounded GFCI (for your information).

8. Heating / Central Air Conditioning

8.0 HEATING EQUIPMENT

Inspected, Repair or Replace

-  The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Not Inspected, Repair or Replace

-  (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).

9. Insulation and Ventilation

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Inspected, Repair or Replace

-  (2) The vapor retarder (plastic) on the crawlspace ground under the master bedroom was a clear plastic. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. Clear plastic although functioning as a moisture retarder may not prevent plants from germinating under the home which may feed wood destroying organisms. This is for your information.

9.4 VENTING SYSTEMS (Baths and laundry)

Inspected, Monitor

-  (1) The exhaust fan ducts point into roof vents in the attic. These ducts should have a sealed exhaust weatherhood to prevent warm moist conditioned air from entering the attic. A licensed professional contractor should repair as necessary.

9.5 RADON MITIGATION SYSTEM

Not Present, Monitor

-  You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>

Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove

suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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Normal Routine Maintenance

Perfection Inspection, Inc

Perfection Inspection, Inc.

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Customer
Philip Hoffman

Address
2840 Bolton Terrace S
Salem OR 97302

The following items or discoveries indicate that these systems or components that are showing signs of **normal wear** and are part of **normal routine homeowner maintenance**. This summary shall not contain recommendations for routine upkeep of a system or component to keep it in proper functioning condition or recommendations to upgrade or enhance the function or efficiency of the building. This Summary is not the entire report. The complete report may include additional information of concern to the customer. It is recommended that the customer read the complete report.

1. Roofing

1.3 ROOF DRAINAGE SYSTEMS

Inspected, Repair or Replace

 (2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.

2. Exterior

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Inspected, Repair or Replace

 (1) The plants should be trimmed or removed from contact with the building. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.

4. Interiors

4.1 WALLS

Inspected, Normal Routine Maintenance Item

 The plaster on the wall shows some repair signs at the rear hallway. This appears to be a cosmetic issue and is for your information.

8. Heating / Central Air Conditioning

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Inspected, Repair or Replace

-  (1) The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.

Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>

9. Insulation and Ventilation

9.4 VENTING SYSTEMS (Baths and laundry)

Inspected, Monitor

-  (2) The exhaust fans were very dirty at the bathrooms. Vent fans are an important part of moisture management and dirty fans can be a safety issue as they can overheat and be a fire risk. A qualified person should clean as needed.



Inspectors are not required to report on the following: Life expectancy of any component or system; The causes of the need for a repair; The methods, materials, and costs of corrections; The suitability of the property for any specialized use; Compliance or non-compliance with codes, ordinances, statutes, regulatory requirements or restrictions; The market value of the property or its marketability; The advisability or inadvisability of purchase of the property; Any component or system that was not observed; The presence or absence of pests such as wood damaging organisms, rodents, or insects; or Cosmetic items, underground items, or items not permanently installed. Inspectors are not required to: Offer warranties or guarantees of any kind; Calculate the strength, adequacy, or efficiency of any system or component; Enter any area or perform any procedure that may damage the property or its components or be dangerous to the home inspector or other persons; Operate any system or component that is shut down or otherwise inoperable; Operate any system or component that does not respond to normal operating controls; Disturb insulation, move personal items, panels, furniture, equipment, plant life, soil, snow, ice, or debris that obstructs access or visibility; Determine the presence or absence of any suspected adverse environmental condition or hazardous substance, including but not limited to mold, toxins, carcinogens, noise, contaminants in the building or in soil, water, and air; Determine the effectiveness of any system installed to control or remove suspected hazardous substances; Predict future condition, including but not limited to failure of components; Since this report is provided for the specific benefit of the customer(s), secondary readers of this information should hire a licensed inspector to perform an inspection to meet their specific needs and to obtain current information concerning this property.

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1. Roofing

The inspector shall observe: roof covering; roof drainage systems; flashings; skylights, chimneys, and roof penetrations; and signs of leaks or abnormal condensation on building components. The inspector shall: describe the type of roof covering materials; and report the methods used to observe the roofing. The inspector is not required to: walk on the roofing; or observe attached accessories including but not limited to solar systems, antennae, and lightning arrestors.

Styles & Materials

Roof Covering: Composition Asphalt/Fiberglass	Viewed roof covering from: Walked roof	Sky Light(s): None
Chimney (exterior): Plastic Masonry		

Inspection Items

1.0 ROOF COVERINGS

Comments: Inspected, Monitor

 The roof covering has a vulnerable area at the rear of building (refer to picture(s)). This is for your information. I recommend monitoring this issue to determine if repairs are necessary.



1.0 Item 1(Picture)



1.0 Item 2(Picture)

1.1 FLASHINGS

Comments: Inspected, Repair or Replace

- 🔧 The roof-to-wall flashing was not installed properly and could be vulnerable to water intrusion. Noted on the front of building (refer to picture(s)). A qualified roofing contractor should inspect further and correct as needed



1.1 Item 1(Picture)

1.2 SKYLIGHTS, CHIMNEYS AND ROOF PENETRATIONS

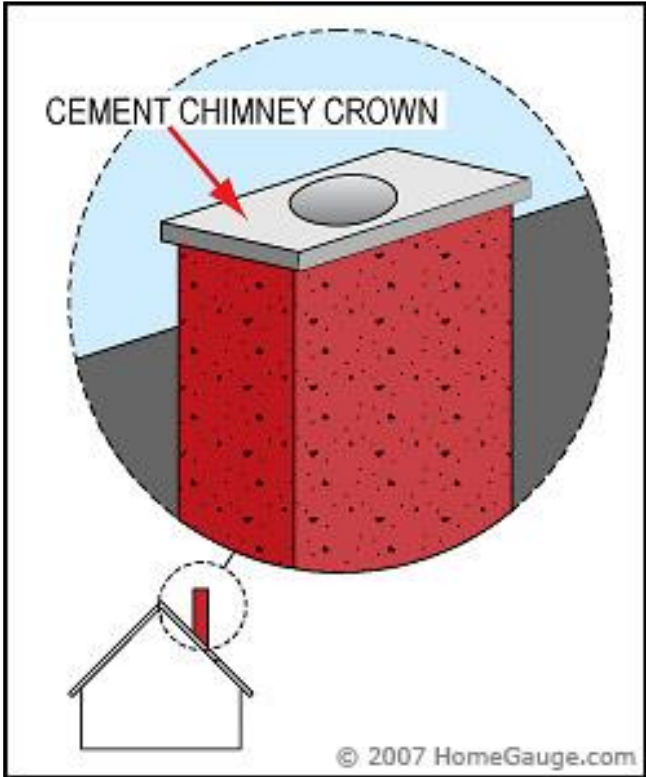
Comments: Inspected, Repair or Replace

- 🔧 (1) The main center masonry chimney had loose mortar. Further deterioration may occur if not repaired. A qualified contractor should inspect and repair as needed.

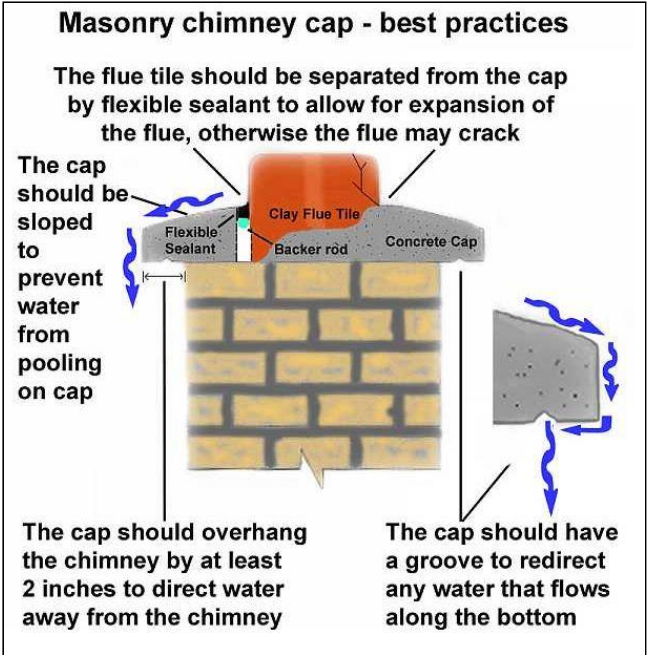


1.2 Item 1(Picture)

(2) The masonry chimney crown was deteriorated. The chimney crown separates the flue from the chase and is important to prevent flue gases from entering the home. A qualified contractor should inspect and repair as needed.



1.2 Item 2(Picture)



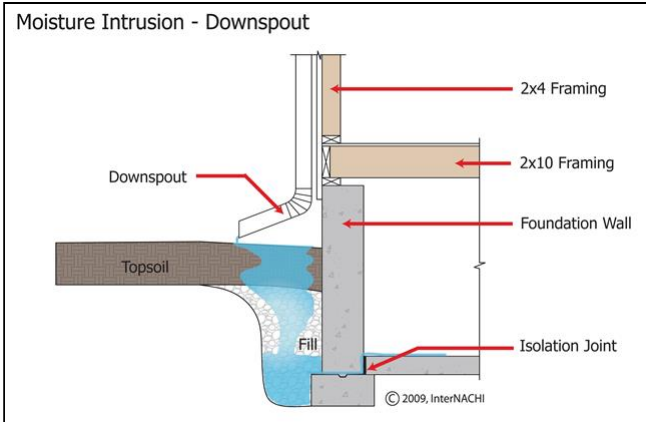
1.2 Item 3(Picture)



1.2 Item 4(Picture)

1.3 ROOF DRAINAGE SYSTEMS

- Comments: Inspected, Repair or Replace
-  (1) The downspouts need to carry water at least 10 feet away from the building at the front of the building. A licensed professional contractor should repair this issue. Allowing excess storm water to dump near the building can contribute to water in the crawlspace, structure/siding deterioration and structural movement.



1.3 Item 1(Picture)



1.3 Item 2(Picture)



(2) The gutters had debris in areas and need to be cleaned. This is a maintenance issue and is important to prevent storm water issues around the building.



1.3 Item 3(Picture)

The roof of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Roof coverings and skylights can appear to be leak proof during inspection and weather conditions. Our inspection makes an attempt to find a leak but sometimes cannot. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

2. Exterior

The inspector shall observe: wall cladding, flashings, and trim; entryway doors and a representative number of windows; garage door operators; decks, balconies, stoops, steps, areaways, porches and applicable railings; eaves, soffits, and fascias; and vegetation, grading, drainage, driveways, patios, walkways, and retaining walls with respect to their effect on the condition of the building. The inspector shall: describe wall cladding materials; operate all entryway doors and a representative number of windows; operate garage doors manually or by using permanently installed controls for any garage door operator; report whether or not any garage door operator will automatically reverse or stop when meeting reasonable resistance during closing; and probe exterior wood components where deterioration is suspected. The inspector is not required to observe: storm windows, storm doors, screening, shutters, awnings, and similar seasonal accessories; fences; presence of safety glazing in doors and windows; garage door operator remote control transmitters; geological conditions; soil conditions; recreational facilities (including spas, saunas, steam baths, swimming pools, tennis courts, playground equipment, and other exercise, entertainment, or athletic facilities); detached buildings or structures; or presence or condition of buried fuel storage tanks. The inspector is not required to: move personal items, panels, furniture, equipment, plant life, soil, snow, ice or debris that obstructs access or visibility.

Styles & Materials

Siding Style:	Siding Material:	Exterior Entry Doors:
Lap	Wood	Composite
	Cement-Fiber	
Driveway:	Retaining wall that Affects the Building:	
Concrete	Poured Concrete	

Inspection Items

2.0 WALL CLADDING FLASHING AND TRIM

Comments: Inspected, Repair or Replace

 (1) The wood trim at the cupola (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 1(Picture)



2.0 Item 2(Picture)

🔧 (2) Paint was worn on siding. The building should be properly prepped and painted to preserve the building envelope.



2.0 Item 3(Picture)



2.0 Item 4(Picture)



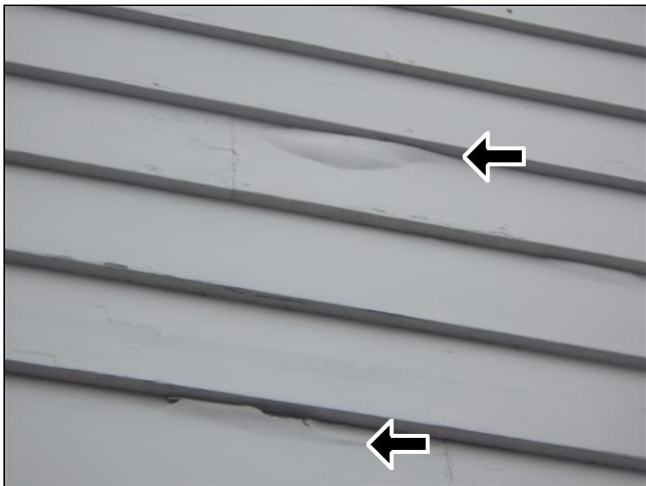
2.0 Item 5(Picture)



2.0 Item 6(Picture)

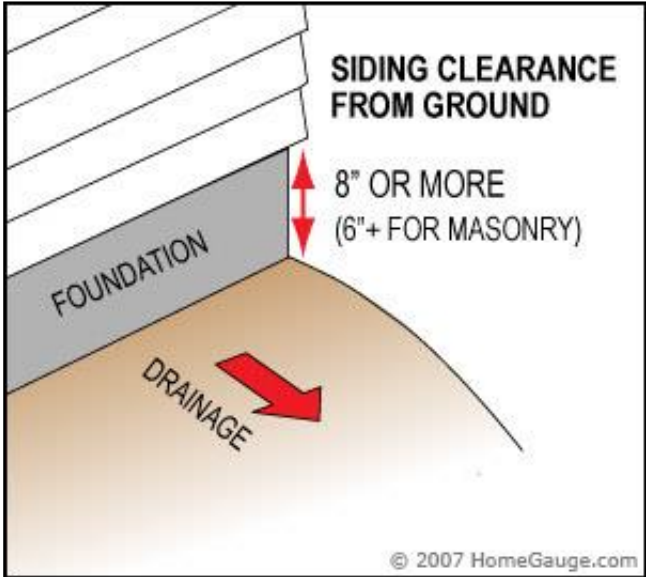


2.0 Item 7(Picture)



2.0 Item 8(Picture)

(3) Siding in contact with ground at rear of the building. Because the siding is in contact with ground it is possible for framing to be deteriorated. We did not inspect behind this siding. Recommend a ground clearance of six to eight inches where possible.



2.0 Item 9(Picture)



2.0 Item 10(Picture)



2.0 Item 11(Picture)

- 🔧 (4) The wood siding at the rear of the building (refer to picture(s)) was deteriorated. Further deterioration can occur if not corrected. A qualified contractor should inspect and repair as needed.



2.0 Item 12(Picture)



2.0 Item 13(Picture)

2.1 DOORS (Exterior)

Comments: Inspected

2.2 WINDOWS

Comments: Inspected, Repair or Replace

- 🔧 (1) The wood trim is peeling paint at most windows. Further deterioration may occur if not repaired. I recommend a qualified contractor inspect and repair as needed.



2.2 Item 1(Picture)

- 🔧 (2) The glazing putty that holds the glass in the sash is failing at some windows. A qualified person should repair and re-putty as necessary. This is a normal maintenance item.



2.2 Item 2(Picture)

2.3 DECKS, BALCONIES, STOOPS, STEPS, AREAWAYS, PORCHES, PATIO/ COVER AND APPLICABLE RAILINGS

Comments: Inspected, Monitor

- 🔍 The decks have been built close to the ground. This limits the inspection and may limit air movement and ventilation. Attention should be paid to keep the exposed boards painted/stained and provide ventilation at the next deck repair.



2.3 Item 1(Picture)

2.4 VEGETATION, GRADING, DRAINAGE, DRIVEWAYS, PATIO FLOOR, WALKWAYS AND RETAINING WALLS (With respect to their effect on the condition of the building)

Comments: Inspected, Repair or Replace



(1) The plants should be trimmed or removed from contact with the building. Vegetation in contact with the home can mechanically open the paint, decrease ventilation and may lead to pest/insect issues. 18" of space should be actively maintained.



2.4 Item 1(Picture)



(2) The concrete drive at the front of the building was deteriorated in areas. This is normal for this age driveway. I recommend repair as desired.



2.4 Item 2(Picture)



2.4 Item 3(Picture)

2.5 EAVES, SOFFITS AND FASCIAS

Comments: Inspected, Repair or Replace

-  The rake rafter on the rear roof slope show signs of deterioration (refer to picture). These should be repaired to prevent further damage to related components.

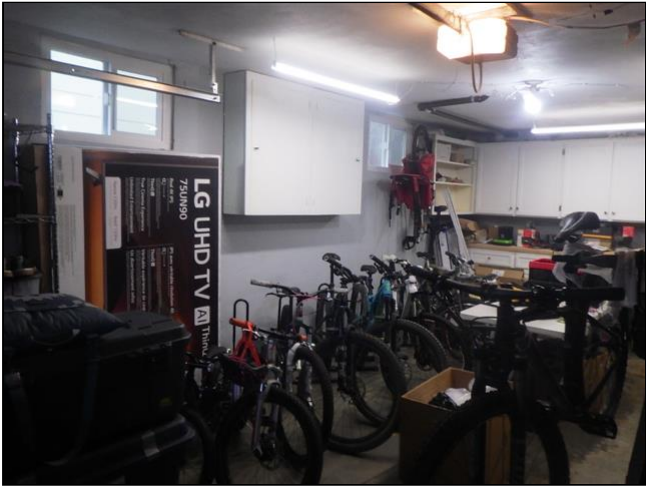


2.5 Item 1(Picture)

The exterior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

3. Garage

The inspector shall observe: walls, ceiling, and floors; steps, stairways, balconies, and railings; counters and a representative number of installed cabinets; and a representative number of doors and windows. The inspector shall: operate garage doors manually or by using permanently installed controls for any garage door opener; and report whether or not any garage door opener will automatically reverse or stop when meeting reasonable resistance during closing, or reverse with an appropriately installed optical sensor system. The inspector is not required to observe: paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; carpeting; or screens, draperies, blinds, or other window treatments. The inspection of the garage was limited by storage. Significant areas could not be viewed. If additional inspections or return trips are desired additional fees will apply.



The inspection of the garage was limited by storage. Significant areas could not be viewed. If additional inspections or return trips are desired additional fees will apply.



Styles & Materials

Garage Door Type:
Two automatic

Garage Door
Material:
Metal
Insulated

Auto-opener
Manufacturer:
GENIE

Did the Garage Door Opener Reverse when met with
Resistance?:
No

Inspection Items

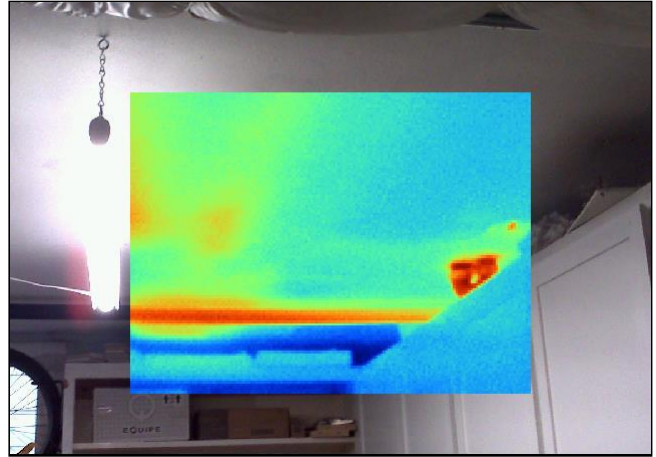
3.0 GARAGE CEILINGS

Comments: Inspected, Repair or Replace

- (1) The plaster on the ceiling reveals water stains indicating leaks did or still exists at the garage. The thermal camera and moisture meter were used and they did not indicate a current leak at the time of the inspection. A qualified contractor should inspect and repair as needed.



3.0 Item 1(Picture)



3.0 Item 2(Picture) No current moisture



3.0 Item 3(Picture)

- (2) The fire resistance sheathing that separates garage from heated space was compromised. This is considered unsafe until corrected. A qualified person should correct for safety.



3.0 Item 4(Picture)

3.1 GARAGE WALLS

Comments: Inspected

3.2 GARAGE FLOOR

Comments: Inspected

3.3 GARAGE DOOR (S)

Comments: Inspected, Repair or Replace

 The garage door at the front of the building shows deterioration on bottom of side jambs. This should be repaired. A qualified contractor should inspect and repair as needed.



3.3 Item 1(Picture)



3.3 Item 2(Picture)

3.4 OCCUPANT DOOR FROM GARAGE TO INSIDE BUILDING

Comments: Inspected, Repair or Replace

- 🔧 (1) The occupant door from inside garage to inside the home was not at least an 1 3/8" solid door. This means that the door may not be a good seal to prevent exhaust or other fumes from entering the home and it may not provide at least 20 minutes of fire resistance. A licensed professional contractor should install a proper solid core, fire resistant door.



3.4 Item 1(Picture)

- 🔧 (2) The door between the home and the garage does not latch properly. A qualified, licensed contractor should adjust as necessary.



3.4 Item 2(Picture)

3.5 GARAGE DOOR OPERATORS

Comments: Inspected, Repair or Replace

(1) The automatic opener for garage door at the front of the building will not reverse when met with resistance. This is considered unsafe and needs correcting. A qualified contractor should inspect and repair as needed.



3.5 Item 1(Picture)



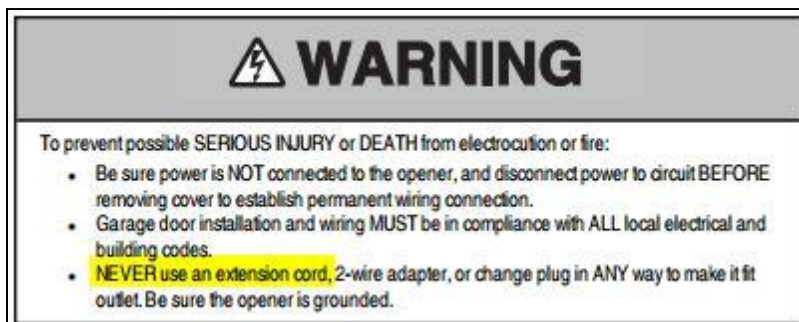
3.5 Item 2(Picture)



3.5 Item 3(Picture)



(2) The garage door opener was using extension cords as permanent wiring, and should have it's own outlet. An outlet should be installed near the opener. A qualified licensed electrician should inspect further and repair as needed.



3.5 Item 4(Picture)



3.5 Item 5(Picture)

The garage of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

4. Interiors

The inspector shall observe: Walls, ceiling, and floors; Steps, stairways, balconies, and railings; Counters and a representative number of installed cabinets; and A representative number of doors and windows. The inspector shall: Operate a representative number of windows and interior doors; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to observe: Paint, wallpaper, and other finish treatments on the interior walls, ceilings, and floors; Carpeting; or Draperies, blinds, or other window treatments.

Styles & Materials

Ceiling Materials: Drywall	Wall Material: Drywall	Floor Covering(s): Vinyl Hardwood Laminate
Interior Doors: Hollow core	Window Types: Thermal/Insulated Double-hung Sliders Single pane Aluminum Frame Wood Frame	Cabinetry: Wood
Countertop: Granite Slab		

Inspection Items

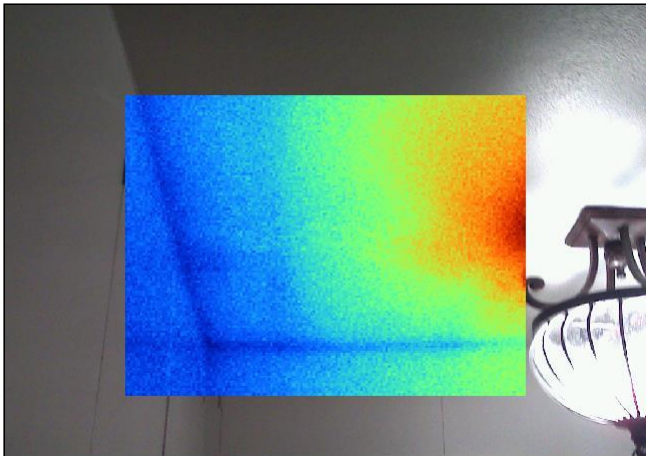
4.0 CEILINGS

Comments: Inspected, Monitor

 (1) The plaster on the ceiling reveals water stains indicating leaks did or still exist in various areas. The thermal camera and moisture meter were used and they did not indicate current leaks at the time of the inspection. A qualified contractor should inspect and repair as needed.



4.0 Item 1(Picture) Master Bedroom



4.0 Item 2(Picture) Master Bedroom No current moisture



4.0 Item 3(Picture)



4.0 Item 4(Picture)



(2) The ceiling reveals cracks throughout the home. This damage is considered mostly cosmetic. A qualified person should repair or replace as needed.



4.0 Item 5(Picture)

4.1 WALLS

Comments: Inspected, Normal Routine Maintenance Item



The plaster on the wall shows some repair signs at the rear hallway. This appears to be a cosmetic issue and is for your information.



4.1 Item 1(Picture)

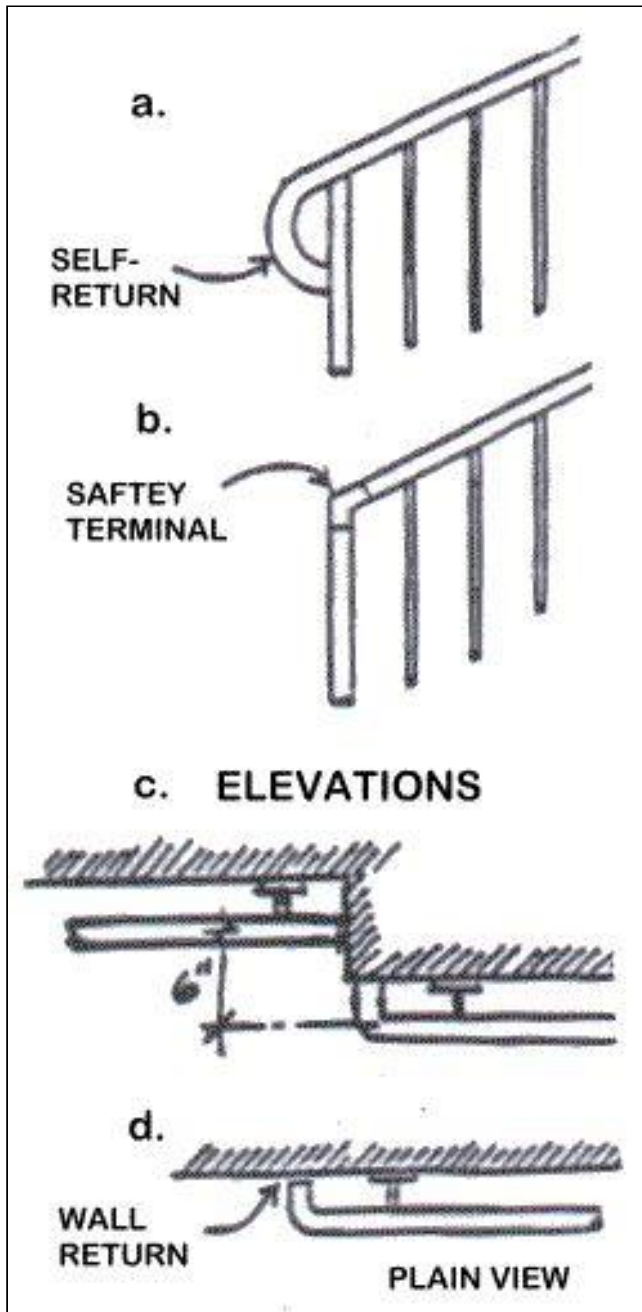
4.2 FLOORS

Comments: Inspected

4.3 STEPS, STAIRWAYS, BALCONIES AND RAILINGS

Comments: Inspected, Repair or Replace

- 🔧 The hand/guard rail for the lower level stairs had ends that did not properly terminate. Handrails should return to a wall, guard or the walking surface or shall be continuous to the handrail of an adjacent stair flight or ramp run. A repair or replacement is needed. A qualified contractor should repair or replace as needed.



4.3 Item 1(Picture)



4.3 Item 2(Picture)

4.4 COUNTERS AND A REPRESENTATIVE NUMBER OF CABINETS

Comments: Inspected

4.5 DOORS (REPRESENTATIVE NUMBER)

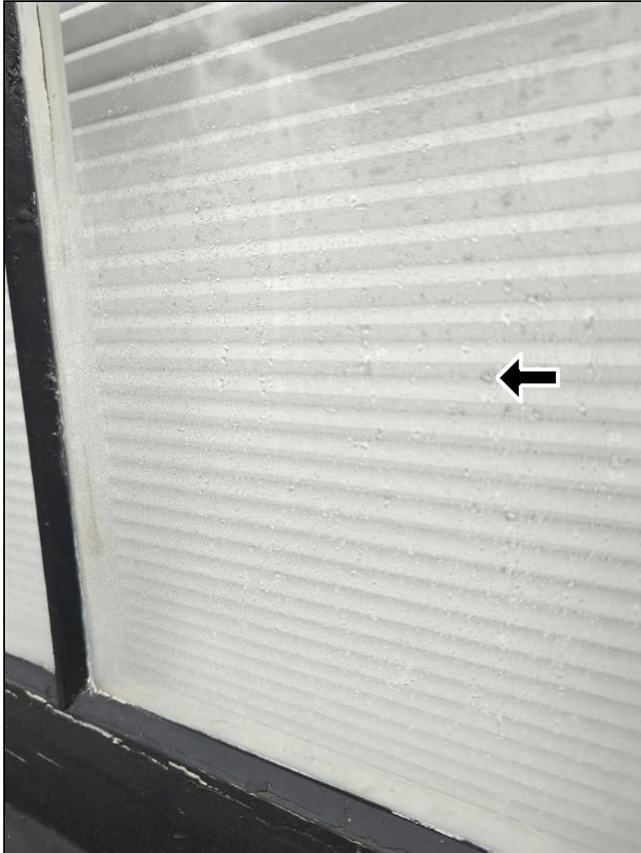
Comments: Inspected

4.6 WINDOWS (REPRESENTATIVE NUMBER)

Comments: Inspected, Repair or Replace

- 🔧 (1) The windows show evidence of high moisture levels and condensation issues. This is a common occurrence with tightly sealed window coverings in sleeping rooms and windows that are facing the weather. I recommend cleaning the windows periodically and opening the shades in the mornings to allow the moist areas to ventilate.

Refer to this post for more information: <http://salemoregonhomeinspector.com/2011/12/28/window-cleaning/>



4.6 Item 1(Picture)



4.6 Item 2(Picture)

- 🔧 (2) Most of the wood windows were stuck or painted shut. This is a maintenance issue and is for your information. A qualified contractor should inspect and repair as needed.



4.6 Item 3(Picture)

- (3) One window was cloudy (moisture trapped between the panes) in the master bath. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.



4.6 Item 4(Picture)

- (4) Windows damaged at handle or lock hardware at the kitchen and guest room/office. This should be repaired. A qualified contractor should inspect and repair as needed.



4.6 Item 5(Picture)



4.6 Item 6(Picture)

- 🔧 (5) Several windows were cloudy (moisture trapped between the panes) in the kitchen, living room and guest room/office. In order to correct the cloudy appearance of glass, a replacement of glass pane or the unit will be necessary. A qualified contractor should inspect and repair as needed.



4.6 Item 7(Picture)



4.6 Item 8(Picture)

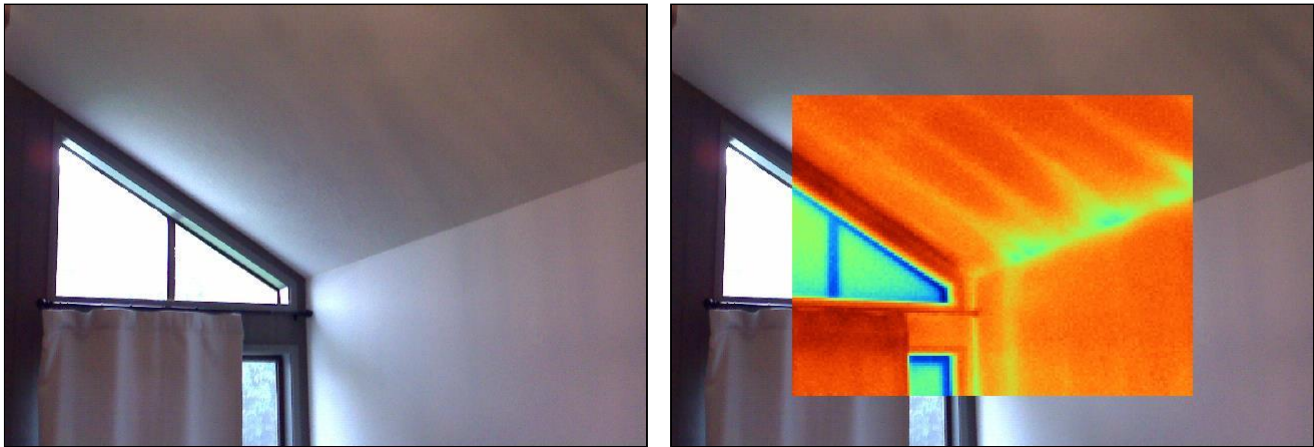


4.6 Item 9(Picture)

The interior of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection did not involve moving furniture and inspecting behind furniture, area rugs or areas obstructed from view. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

5. Structural Components

The inspector shall observe structural components including foundations, floors, walls, columns or piers, ceilings and roof. The inspector shall describe the type of Foundation, floor structure, wall structure, columns or piers, ceiling structure, roof structure. The inspector shall: Probe structural components where deterioration is suspected; Enter under floor crawl spaces, basements, and attic spaces except when access is obstructed, when entry could damage the property, or when dangerous or adverse situations are suspected; Report the methods used to observe under floor crawl spaces and attics; and Report signs of abnormal or harmful water penetration into the building or signs of abnormal or harmful condensation on building components. The inspector is not required to: Enter any area or perform any procedure that may damage the property or its components or be dangerous to or adversely effect the health of the inspector or other persons.



Normal structure

Styles & Materials

Foundation: Poured concrete Continuous Stem wall	Method used to observe Crawlspace: Crawled Limited access	Floor Structure: Wood beams Wood joists
Wall Structure: Wood	Columns or Piers: Wood piers	Roof Structure: Wood Rafters
Roof-Type: Gable	Method used to observe attic: Crawled Limited entry	

Inspection Items

5.0 FOUNDATIONS, BASEMENTS AND CRAWLSPACES

Comments: Inspected, Monitor

 The crawlspace under the master bedroom and bathroom was very difficult to enter due to duct and piping. This area could only be visually inspected from the edge. This is for your information

5.1 CRAWLSPACE MOISTURE

Comments: Inspected

5.2 WALLS (Structural)

Comments: Inspected

5.3 COLUMNS OR PIERS

Comments: Inspected, Repair or Replace

- 🔧 The support post at the rear of the building was under-cut in the crawlspace from apparent plumbing repairs. Repairs are needed. A qualified engineer should inspect and repair or replace as needed.



5.3 Item 1(Picture)

5.4 FLOORS (Structural)

Comments: Inspected

5.5 CEILINGS (structural)

Comments: Inspected

5.6 ROOF STRUCTURE AND ATTIC

Comments: Inspected

5.7 WOOD DESTROYING ORGANISMS

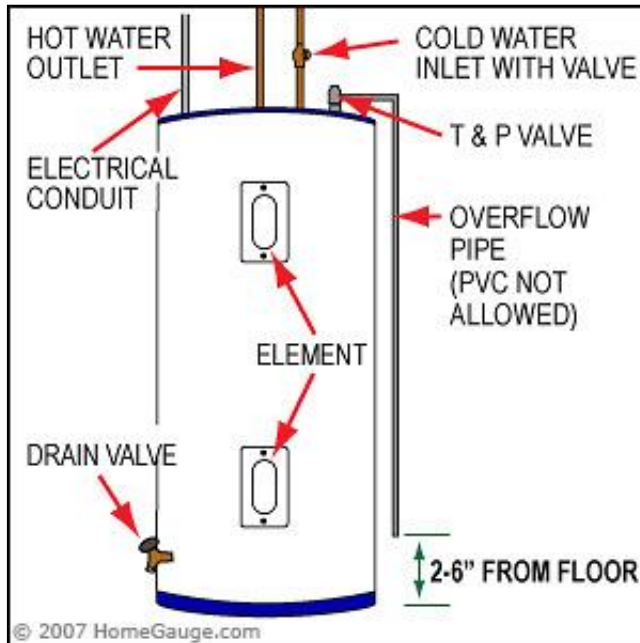
Comments: Inspected

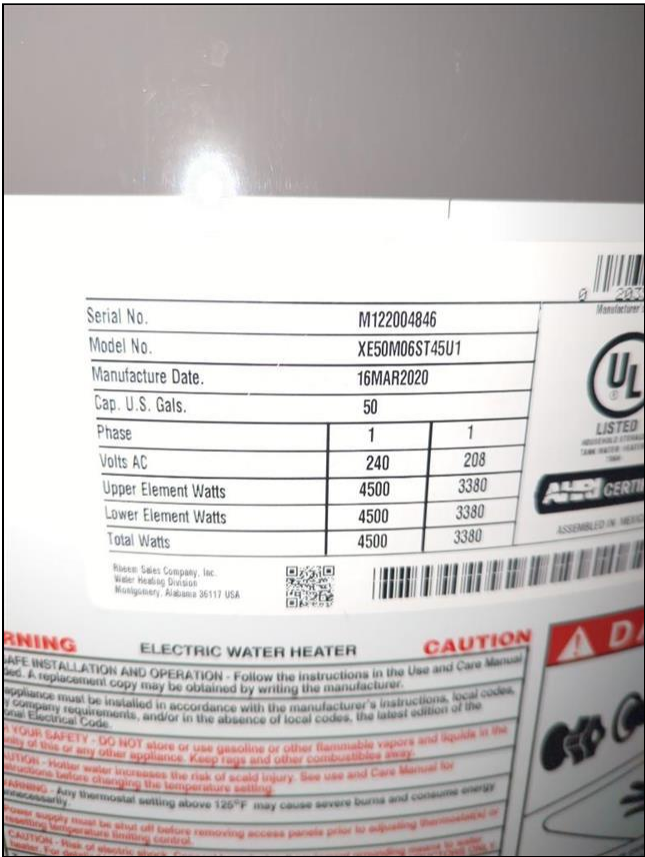
No activity could be observed at the time of the inspection.

The structure of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

6. Plumbing System

The inspector shall observe: Interior water supply and distribution system, including: piping materials, supports, and insulation; fixtures and faucets; functional flow; leaks; and cross connections; Interior drain, waste, and vent system, including: traps; drain, waste, and vent piping; piping supports and pipe insulation; leaks; and functional drainage; Hot water systems including: water heating equipment; normal operating controls; automatic safety controls; and chimneys, flues, and vents; Fuel storage and distribution systems including: interior fuel storage equipment, supply piping, venting, and supports; leaks; and Sump pumps. The inspector shall describe: Water supply and distribution piping materials; Drain, waste, and vent piping materials; Water heating equipment; and Location of main water supply shutoff device. The inspector shall operate all plumbing fixtures, including their faucets and all exterior faucets attached to the house, except where the flow end of the faucet is connected to an appliance. The inspector is not required to: State the effectiveness of anti-siphon devices; Determine whether water supply and waste disposal systems are public or private; Operate automatic safety controls; Operate any valve except water closet flush valves, fixture faucets, and hose faucets; Observe: Water conditioning systems; Fire and lawn sprinkler systems; On-site water supply quantity and quality; On-site waste disposal systems; Foundation irrigation systems; Spas, except as to functional flow and functional drainage; Swimming pools; Solar water heating equipment; or Observe the system for proper sizing, design, or use of proper materials.





Styles & Materials

Water Source: Public	Plumbing Water Supply (into building): PVC	Plumbing Water Distribution (inside building): PEX (Cross-Linked Polyethylene)
Washer Drain Size: 2" Diameter	Plumbing Waste/Vent: ABS Cast iron Galvanized	Water Heater Power Source: Electric
Water Heater Capacity: 50 Gallon (2-3 Bathrooms)	Manufacturer: RHEEM	Approximate Year of the Water Heater(s): 2020

Inspection Items

6.0 PLUMBING DRAIN, WASTE AND VENT SYSTEMS Comments: Inspected, Repair or Replace
--

- 🔧 (1) You should strongly consider having the sewer line scoped. Issues with the main underground waste line can be common and the repairs can be costly. The main under ground soil pipe could not be viewed and was not inspected.
- 🔧 (2) The plumbing waste line drained slowly at the master bath (right sink). The cause of a slow drain can range from a simple debris clog at the stop valve or at the trap under the drain. Sometimes the drain can be partially clogged down line. I am unable to determine the cause of the slow drain. A qualified licensed plumber should repair or correct as needed.



6.0 Item 1(Video)



6.0 Item 2(Picture)

- 🔧 (3) The toilet was loose at floor at the hall bath. Repairs should involve re-setting the toilet on a new wax seal. I recommend a qualified licensed plumber repair or correct as needed.



6.0 Item 3(Picture)

- 🔧 (4) The plumbing waste line drained slowly at the hall bath tub. The cause of a slow drain can range from a simple debris clog at the stop valve or at the trap under the drain. Sometimes the drain can be partially clogged down line. I am unable to determine the cause of the slow drain. A qualified licensed plumber should repair or correct as needed.



6.0 Item 4(Picture)

- 🔍 (5) The plumbing waste line had been repaired improperly in the rear crawlspace. PVC should not be glued directly to ABS. I recommend a licensed plumber inspect further and repair as necessary.

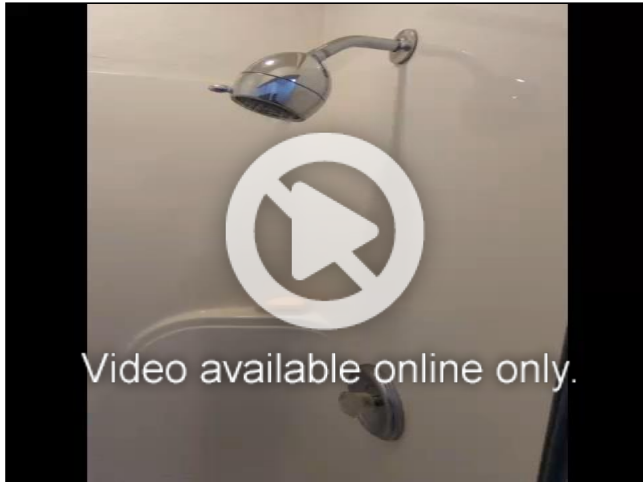


6.0 Item 5(Picture)

6.1 PLUMBING WATER SUPPLY AND DISTRIBUTION SYSTEMS AND FIXTURES

Comments: Inspected, Repair or Replace

- 🔧 (1) The shower head and control lever were loose at the guest/office bath. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 1(Video)

- 🔧 (2) The galvanized supply line was leaking in the crawlspace under the living room. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 2(Picture)



6.1 Item 3(Picture)

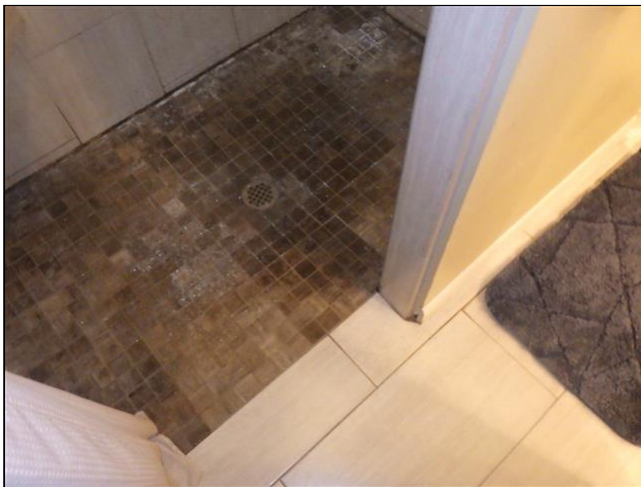
- 🔧 (3) The outside water faucet leaked at the front of the building. Repairs are needed. I recommend a licensed plumber inspect further and repair as necessary.



6.1 Item 4(Picture)

- 🔍 (4) The shower pan was a "curbless shower." This type of pan offers great access without a curb to potentially trip over however you should be aware that the waterproof membrane, under the tiles usually comes to the edge of the pan. You should be careful to avoid excess water outside to shower threshold to avoid damage to the wood frame in the flooring system.

Refer to this post for more information: <https://www.youtube.com/watch?v=iSd7sOWyv8I&t=4s>



6.1 Item 5(Picture)



6.1 Item 6(Picture)

- 🔍 (5) The refrigerator ice/water supply line could not be observed/inspected. The refrigerator was not moved and this valve/piping could not be observed at the time of the inspection. This valve/piping should be carefully monitored as leakage can cause damage.

6.2 HOT WATER SYSTEMS, CONTROLS, CHIMNEYS, FLUES AND VENTS

Comments: Inspected

6.3 MAIN WATER SHUT-OFF DEVICE

Comments: Inspected

The main shut offs were located outside in the ground and on the garage wall.



6.3 Item 1(Picture)



6.3 Item 2(Picture)

6.4 FUEL STORAGE AND DISTRIBUTION SYSTEMS (Interior fuel storage, piping, venting, supports, leaks)

Comments: Inspected, Monitor



Gas was currently being used as the energy source for heat system but it was evident that there was an oil tank that was once used. I did not look for or find the oil tank nor did I determine whether oil tank remains on property. Which means that I did not inspect the abandoned oil tank (if any) for leaks or soil contamination.

Please refer to this post for a list of things to do to determine if the tank is still on sight:

<http://salemoregonhomeinspector.com/2011/05/29/what-do-i-do-if-there-may-be-an-underground-oil-tank-for-my-home-in-salem-oregon/>



6.4 Item 1(Picture)

6.5 MAIN FUEL SHUT OFF (Describe Location)

Comments: Inspected

The main fuel shut off was at gas meter outside



6.5 Item 1(Picture)

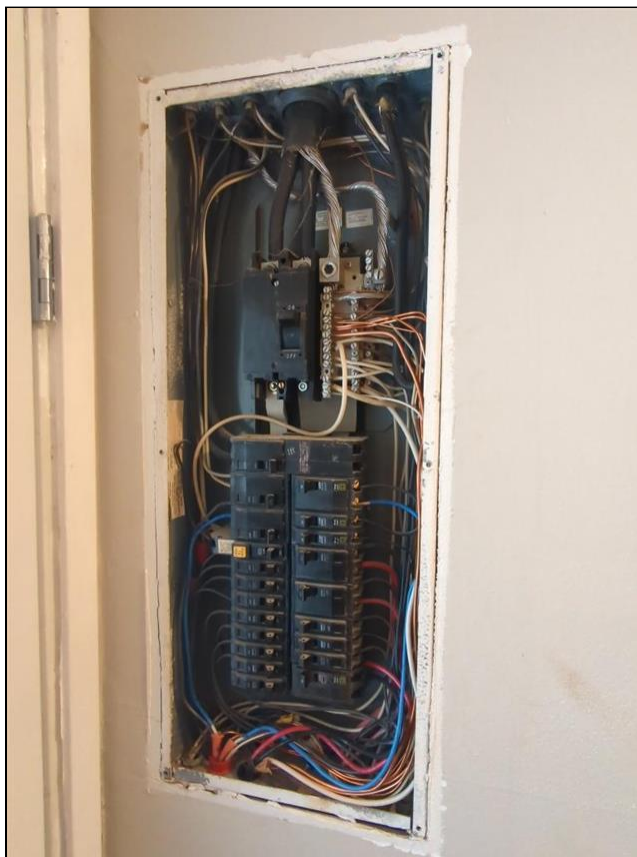
6.6 SUMP PUMP

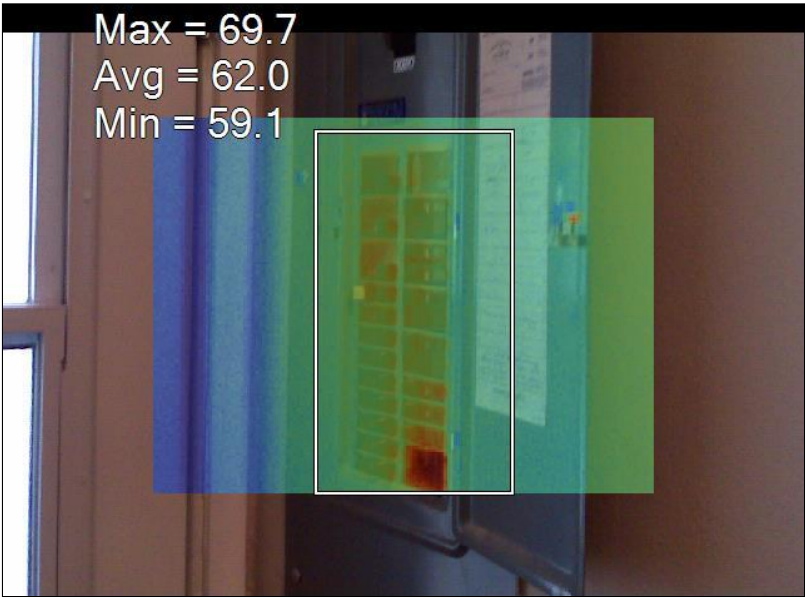
Comments: Not Present

The plumbing in the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Washing machine drain line for example cannot be checked for leaks or the ability to handle the volume during drain cycle. Older buildings with galvanized supply lines or cast iron drain lines can be obstructed and barely working during an inspection but then fail under heavy use. If the water is turned off or not used for periods of time (like a vacant building waiting for closing) rust or deposits within the pipes can further clog the piping system. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

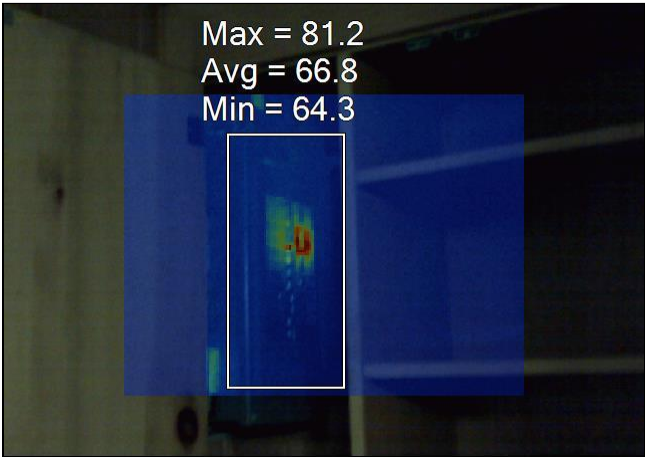
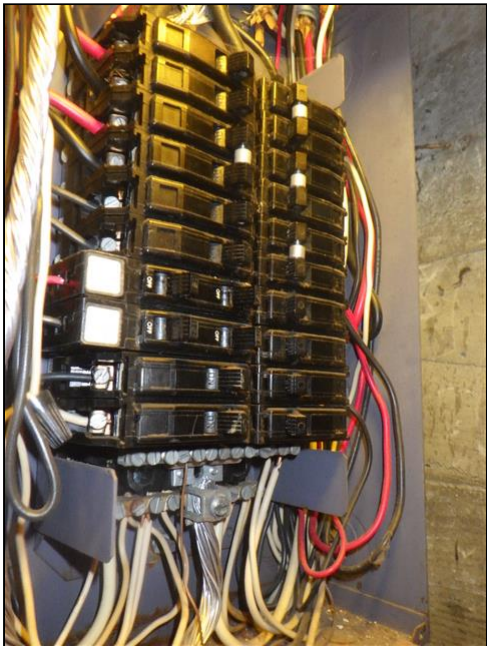
7. Electrical System

The inspector shall observe: Service entrance conductors; Service equipment, grounding equipment, main over current device, and main and distribution panels; Amperage and voltage ratings of the service; Branch circuit conductors, their over current devices, and the compatibility of their ampacities and voltages; The operation of a representative number of installed ceiling fans, lighting fixtures, switches and receptacles located inside the house, garage, and on the dwelling's exterior walls; The polarity and grounding of all receptacles within six feet of interior plumbing fixtures, and all receptacles in the garage or carport, and on the exterior of inspected structures; The operation of ground fault circuit interrupters; and Smoke detectors. The inspector shall describe: Service amperage and voltage; Service entry conductor materials; Service type as being overhead or underground; and Location of main and distribution panels. The home inspector shall report any observed small gauge aluminum branch circuit wiring. The home inspector shall report on presence or absence of smoke detectors, and operate their test function, if accessible, except when detectors are part of a central system. The home inspector is not required to: Insert any tool, probe, or testing device inside the panels; Test or operate any over current device except ground fault circuit interrupters; Dismantle any electrical device or control other than to remove the covers of the main and auxiliary distribution panels; or Observe: Low voltage systems; Security system devices, heat detectors, or carbon monoxide detectors; Telephone, security, cable TV, intercoms, or other ancillary wiring that is not a part of the primary electrical distribution system; or Built-in vacuum equipment.





These are normal temperatures under load



These are normal temperatures under load

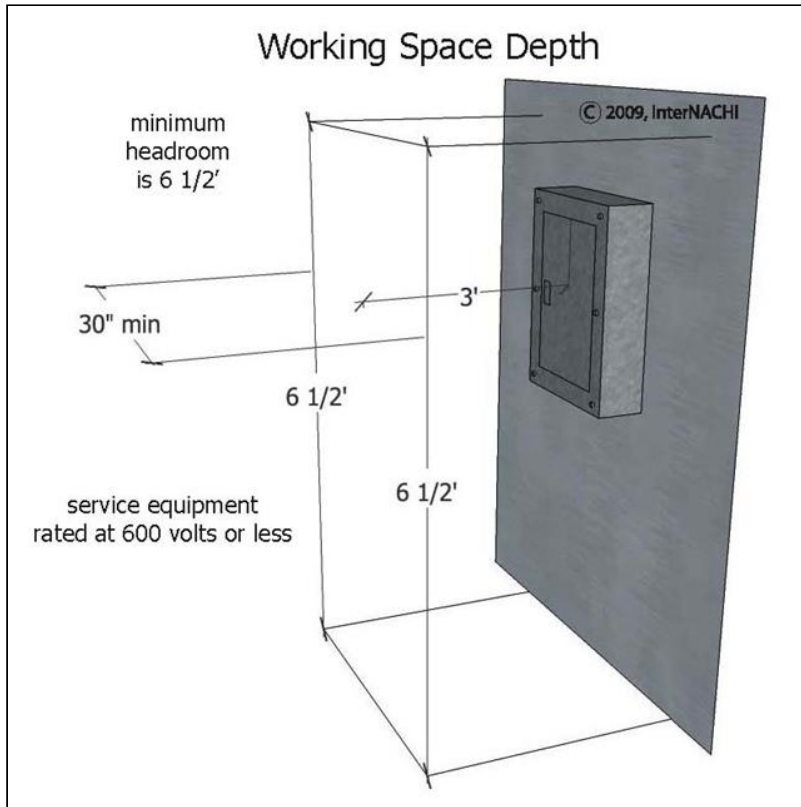
Styles & Materials

Electrical Service Conductors: Overhead service Aluminum 240 volts	Panel capacity: 200 AMP	Electric Panel Manufacturer: SQUARE D
Panel Type: Circuit breakers	Sub Panel Manufacturer: Square D	Sub Panel Capacity: 100 AMPS
Branch wire 15 and 20 AMP: Copper	Wiring Methods: Non Metallic sheathed Cable	

Inspection Items

- 7.0 SERVICE ENTRANCE CONDUCTORS
Comments: Inspected
- 7.1 SERVICE AND GROUNDING EQUIPMENT, MAIN OVERCURRENT DEVICE, MAIN AND DISTRIBUTION PANELS
Comments: Inspected, Repair or Replace

- ⚡ The main panel did not have proper access clearances. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.1 Item 1(Picture)

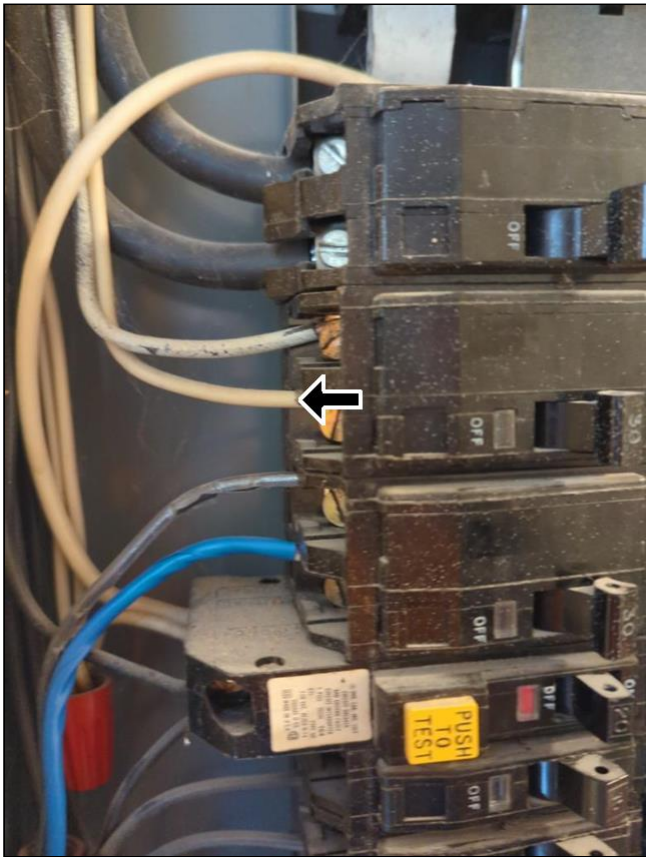


7.1 Item 2(Picture)

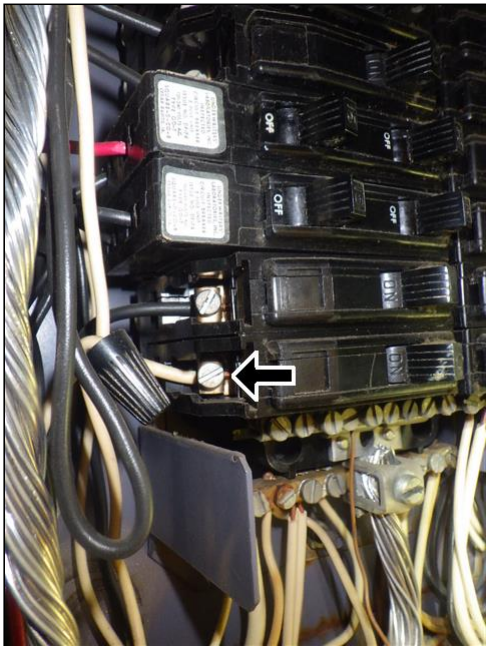
7.2 BRANCH CIRCUIT CONDUCTORS, OVERCURRENT DEVICES AND COMPATIBILITY OF THEIR AMPERAGE AND VOLTAGE

Comments: Inspected, Repair or Replace

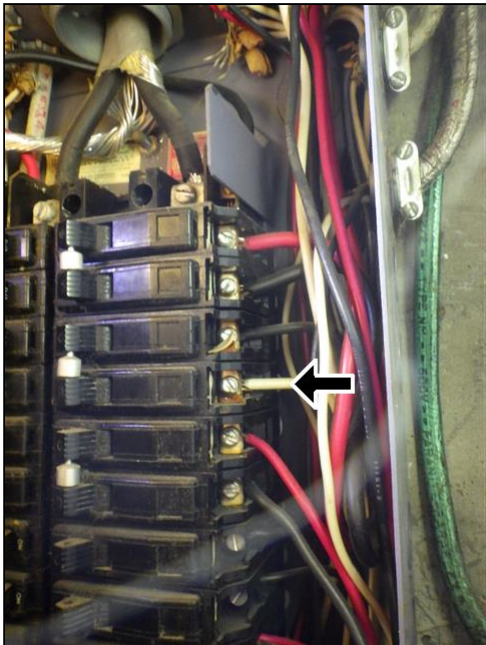
🔧 (1) White branch circuits that are being used as hot wires are not labeled with "phase tape" should be corrected. This is strictly a labeling issue and does not effect the ability of the wire to carry electrons. Phase wire in a circuit may be black, red, orange (high leg delta) insulated wire, sometimes other colors, but never green, gray, or white (whether these are solid colors or stripes). I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 1(Picture)

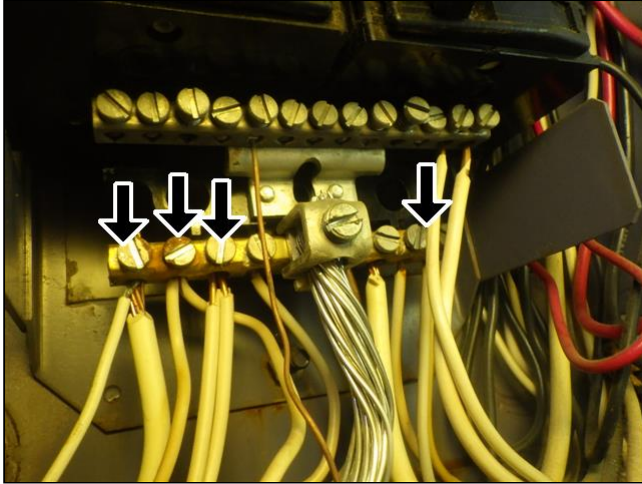


7.2 Item 2(Picture)



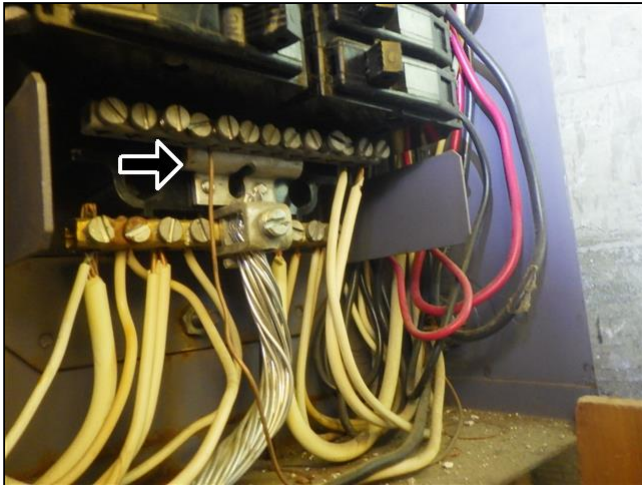
7.2 Item 3(Picture)

- 🔧 (2) Double tap (where neutral wires share a lug designed for one) noted on the sub panel. A qualified licensed electrician should perform repairs that involve wiring. Refer here for more information: <http://ecatalog.squared.com/pubs/Electrical%20Distribution/Panelboards/0100DB0705.pdf>



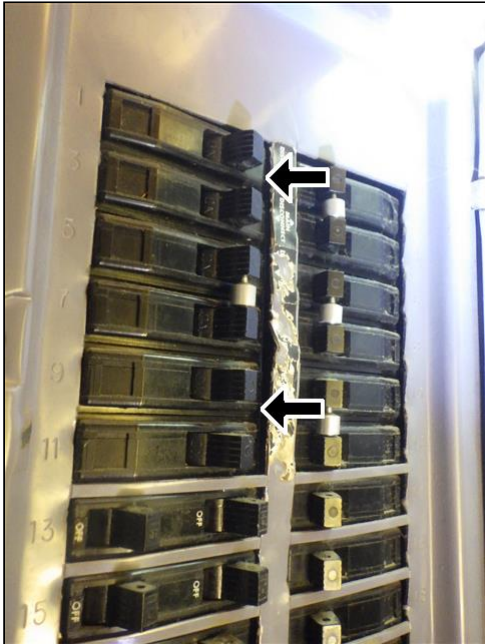
7.2 Item 4(Picture)

- 🔧 (3) Sub panel did not have properly isolated neutral and ground bars should be corrected. I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 5(Picture)

- 🔧 (4) The 240 volt breaker handle should be bonded so that both legs of the circuit trip at the same time should be corrected on the sub panel. I recommend a licensed electrician inspect further and correct as needed.



7.2 Item 6(Picture)

7.3 CONNECTED DEVICES AND FIXTURES (Observed from a representative number operation of ceiling fans, lighting fixtures, switches and receptacles located inside the building, garage, and on the dwelling's exterior walls)

Comments: Inspected, Repair or Replace

- 🔧 (1) Doorbell button was damaged. This should be repaired as desired.



7.3 Item 1(Picture)

- 🔧 (2) The light fixture did not work and was missing cover at the front of home. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 2(Picture)

- 🔧 (3) The wall switch purpose was unknown (could not identify) at the Guest bath. This is for your information.
🔍



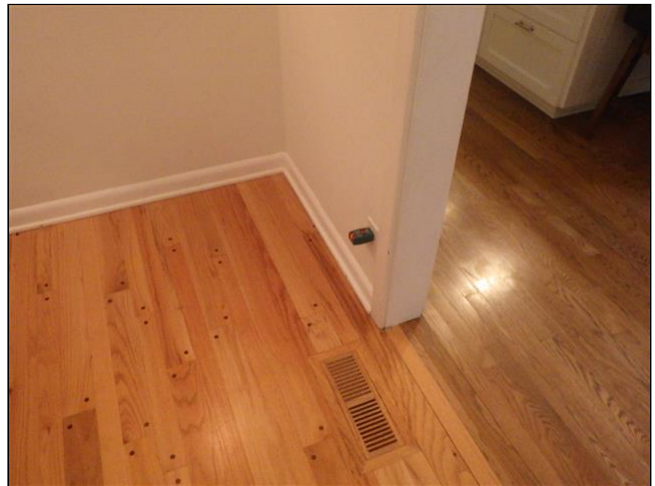
7.3 Item 3(Picture)

- 🔧 (4) The "three-prong" outlets were not grounded throughout the building. Electrical issues are considered a hazard until repaired. A qualified licensed electrician should correct as needed.

More information here: <http://salemoregonhomeinspector.com/2011/08/08/grounded-outlets-gfcis-seatbelts-and-airbags/>

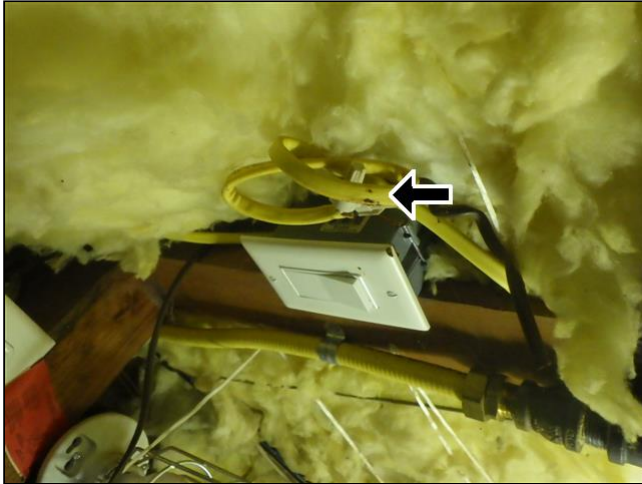


7.3 Item 4(Picture)



7.3 Item 5(Picture)

- 🔧 (5) One loose wire end needs placing inside a box with a cover-plate in the crawlspace behind the water heater. I recommend repair as needed.



7.3 Item 6(Picture)

- 🔧 (6) The "three-prong" outlet installed above the baseboard heater in the lower level. This is a safety issue that needs to be corrected. A qualified licensed electrician should perform repairs that involve wiring.



7.3 Item 7(Picture)

7.4 POLARITY AND GROUNDING OF RECEPTACLES WITHIN 6 FEET OF INTERIOR PLUMBING FIXTURES, AND ALL RECEPTACLES IN GARAGE, EXTERIOR WALLS OF INSPECTED STRUCTURE

Comments: Inspected

7.5 OPERATION OF GFCI (GROUND FAULT CIRCUIT INTERRUPTERS)

Comments: Inspected, Repair or Replace

- 🔧 (1) The addition of GFCI's to the building in the exterior, garage and kitchen would be a wise modern safety update.

Please see this publication for more information: https://www.cpsc.gov/s3fs-public/099_0.pdf



7.5 Item 1(Picture)

- 🔧 (2) The GFCI outlets at the bathrooms were non-grounded outlets. These outlets are protected by a GFCI which is more safe than a non-grounded outlet that is not protected by a GFCI, however, it should be labeled a non-grounded GFCI and it is not as safe as a grounded GFCI (for your information).



7.5 Item 2(Picture)



7.5 Item 3(Picture)



7.5 Item 4(Picture)

7.6 LOCATION OF MAIN AND DISTRIBUTION PANELS

Comments: Inspected

The main panel box was located at the garage.

7.7 SMOKE DETECTORS

Comments: Inspected

7.8 CARBON MONOXIDE DETECTORS

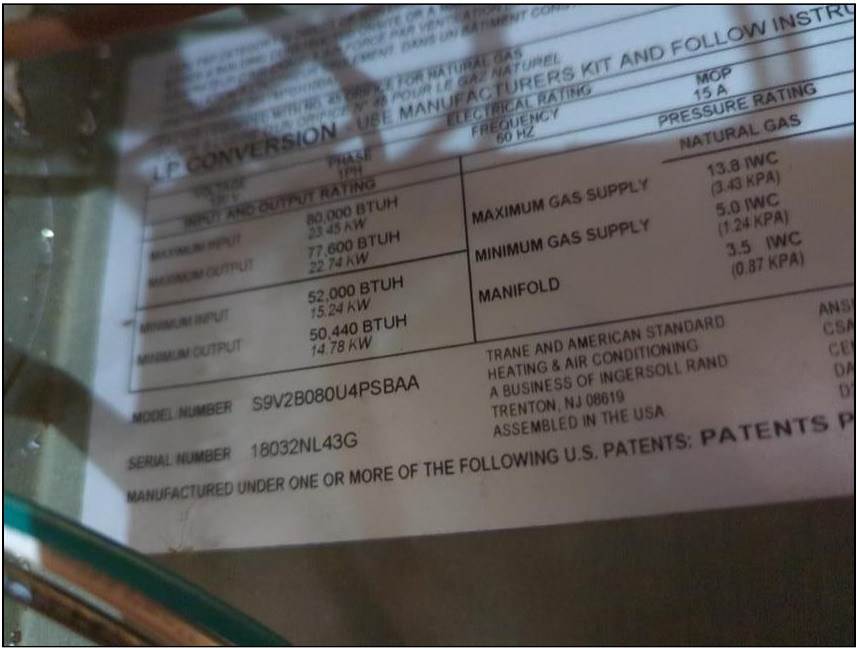
Comments: Inspected

The electrical system of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Outlets were not removed and the inspection was only visual. Any outlet not accessible (behind the refrigerator for example) was not inspected or accessible. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

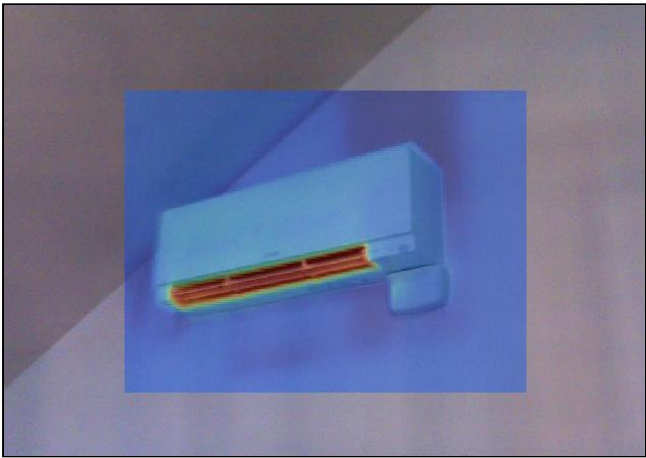
8. Heating / Central Air Conditioning

The inspector shall observe permanently installed heating and cooling systems including: Heating equipment; Cooling Equipment that is central to home; Normal operating controls; Automatic safety controls; Chimneys, flues, and vents, where readily visible; Solid fuel heating devices; Heat distribution systems including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units, convectors; and the presence of an installed heat source in each room. The inspector shall describe: Energy source; and Heating equipment and distribution type. The inspector shall operate the systems using normal operating controls. The inspector shall open readily openable access panels provided by the manufacturer or installer for routine maintenance. The inspector is not required to: Operate heating systems when weather conditions or other circumstances may cause equipment damage; Operate automatic safety controls; Ignite or extinguish solid fuel fires; or Observe: The interior of flues; Fireplace insert flue connections; Humidifiers; Electronic air filters; or The uniformity or adequacy of heat supply to the various rooms.









Styles & Materials

Heat Type: Forced Air High (90%+) Efficiency Mini-Split Heat Pump	Energy Source: Natural gas Electric	Heat System Brand: AMERICAN STANDARD MITSUBISHI
Approximate age of Furnace/ boiler: 2018	Ductwork: Insulated	Filter Type: Disposable
Filter Size: 20x25	Types of Fireplaces: Solid Fuel Conventional Vented gas logs	Number of Installed Woodstoves: None

Cooling Equipment Type:

Split system Air conditioner unit
Split system Air conditioner unit(s)

Cooling Equipment Energy Source:

Electricity

Central Air Manufacturer:

AMERICAN STANDARD
MITSUBISHI

Number of AC Only Units:

Two

Approximate age of Central Air Equipment:

2018

Inspection Items

8.0 HEATING EQUIPMENT

Comments: Inspected, Repair or Replace

 **The furnace does not appear to have been serviced recently. A licensed HVAC contractor should service or repair unit.**


8.1 NORMAL OPERATING CONTROLS

Comments: Inspected

8.2 AUTOMATIC SAFETY CONTROLS

Comments: Inspected

8.3 DISTRIBUTION SYSTEMS (including fans, pumps, ducts and piping, with supports, insulation, air filters, registers, radiators, fan coil units and convectors)

Comments: Inspected, Repair or Replace

 (1) The filter was clogged and dirty. The filter needs to be replaced. I recommend repair or replace as needed using a qualified person. Generally filters should be cleaned/replaced every one to two months.


Please refer to this post for more information: <http://salemoregonhomeinspector.com/2009/07/11/kill-your-heating-system-one-month-at-a-time/>



8.3 Item 1(Picture)

- 🔧 (2) The supply duct pipe was disconnected in the crawlspace above the furnace. Energy loss is occurring in crawlspace and immediate correction is needed. A qualified HVAC person should inspect further and repair or replace as needed.



8.3 Item 2(Picture)



8.3 Item 3(Picture)

8.4 PRESENCE OF INSTALLED HEAT SOURCE IN EACH HABITABLE ROOM

Comments: Inspected

8.5 CHIMNEYS, FLUES AND VENTS (for fireplaces, gas water heaters or heat systems)

Comments: Inspected

8.6 SOLID FUEL HEATING DEVICES (Fireplaces, Woodstove)

Comments: Inspected, Repair or Replace

- 🔧 Due to the limited view of the flue it is suggested that, before the heating season, you contract a qualified, professional chimney sweep to inspect the flues.

8.7 GAS/LP FIRELOGS AND FIREPLACES

Comments: Inspected, Repair or Replace

- 🔧 The damper for fireplace at the family room clamp or lock that forces lid to stay open (required for Vented Gas/LP logs) was not functioning properly. Repairs should be made so unit works properly. A qualified contractor should inspect and repair as needed.



8.7 Item 1(Picture)

8.8 CENTRAL COOLING AND AIR HANDLER EQUIPMENT

Comments: Not Inspected, Repair or Replace

- 🔍 (1) The A/C was not tested for proper operation due to the outside air temperature was 65 degrees or less. Testing at low temperatures can damage the unit. We did not inspect this unit(s).
- 🔧 (2) The AC unit does not appear to have been serviced recently. A licensed HVAC contractor should

service or repair unit.



(3) The condensate line did not properly extend and dump out of the crawlspace. This condition can lead to moisture issues under the home. A licensed HVAC contractor should service or repair unit.



8.8 Item 1(Picture)

The heating and cooling system of this building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. The inspection is not meant to be technically exhaustive. The inspection does not involve removal and inspection behind service door or dismantling that would otherwise reveal something only a licensed heat contractor would discover. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

9. Insulation and Ventilation

The inspector shall observe: Insulation and vapor retarders in unfinished spaces; Ventilation of attics and foundation areas; Kitchen, bathroom, and laundry venting systems; and the operation of any readily accessible attic ventilation fan, and, when temperature permits, the operation of any readily accessible thermostatic control. The inspector is not required to report on: Concealed insulation and vapor retarders; or Venting equipment that is integral with household appliances.

Styles & Materials

Attic Insulation:

- Blown
- Batt
- Fiberglass
- Mineral wool
- R-19 or better

Ventilation:

- Roof vents
- Soffit Vents
- Gable vents

Exhaust Fans:

- Fan only

Dryer Power Source:

- 240 Electric

Dryer Vent:

- Metal

Floor System Insulation:

- Batts
- Fiberglass
- R-25

Vapor Retarder/Barrier:

- Black Plastic
- Clear Plastic

Inspection Items

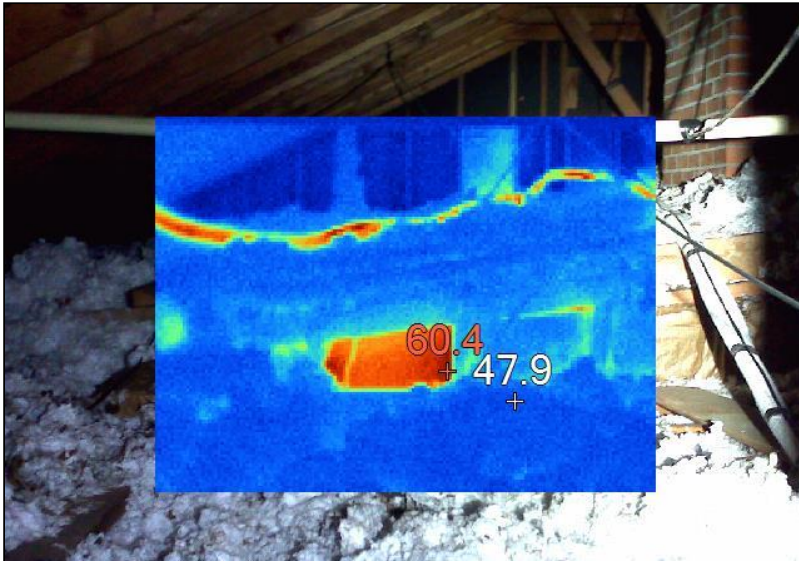
9.0 INSULATION IN ATTIC

Comments: Inspected, Repair or Replace

 Fiberglass (Batts) insulation was fallen in areas of the vault in attic. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.



9.0 Item 1(Picture)



9.0 Item 2(Picture)



9.0 Item 3(Picture)



9.0 Item 4(Picture)

9.1 INSULATION UNDER FLOOR SYSTEM

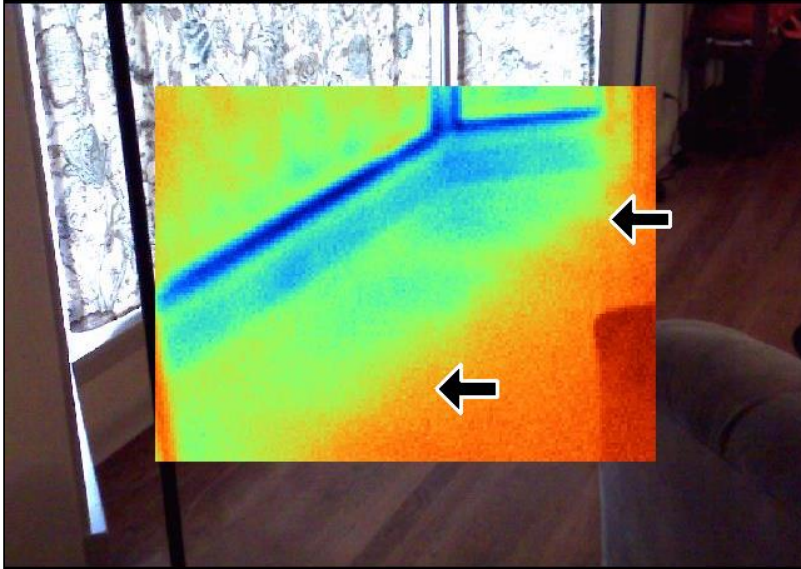
Comments: Inspected, Repair or Replace

- (1) The insulation was missing under the master bathroom. Heat loss can occur more in this building than from one that is properly insulated. A qualified person should repair or replace as needed.



9.1 Item 1(Picture)

- 🔧 (2) The insulation was deteriorated under the front bump out in the living room. Heat loss can occur more on this home than one that is properly insulated. A qualified contractor should inspect and repair as needed.

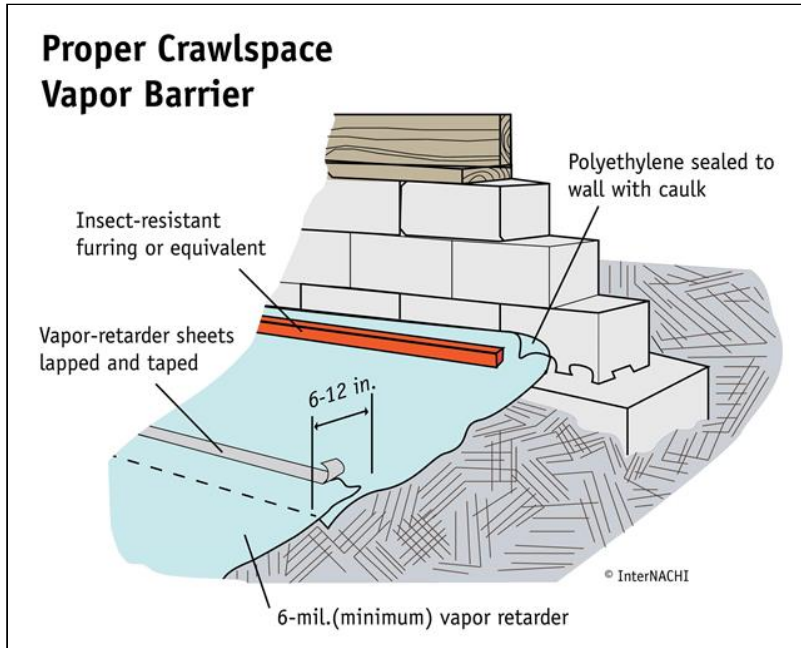


9.1 Item 2(Picture)

9.2 VAPOR RETARDERS (ON GROUND IN CRAWLSPACE OR BASEMENT)

Comments: Inspected, Repair or Replace

- 🔧 (1) The vapor retarder (plastic) on the crawlspace ground was missing in areas. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. A qualified, licensed professional should install a new layer of 6 mill. black plastic vapor retarder where needed.



9.2 Item 1(Picture)



9.2 Item 2(Picture)



9.2 Item 3(Picture)



9.2 Item 4(Picture)



9.2 Item 5(Picture)



9.2 Item 6(Picture)

🔍 (2) The vapor retarder (plastic) on the crawlspace ground under the master bedroom was a clear plastic. A vapor barrier provides added protection to the floor system from moisture or dampness that can enter from ground. Clear plastic although functioning as a moisture retarder may not prevent plants from germinating under the home which may feed wood destroying organisms. This is for your information.

9.3 VENTILATION OF ATTIC AND CRAWLSPACE

🔧 **Comments:** Inspected, Repair or Replace
🔧 (1) The foundation has holes large enough for pests at the left side (facing front from the inside) and

rear of the building. Exclusion of pests is the best way to prevent issues. A qualified contractor should inspect and repair as needed.



9.3 Item 1(Picture)



9.3 Item 2(Picture)

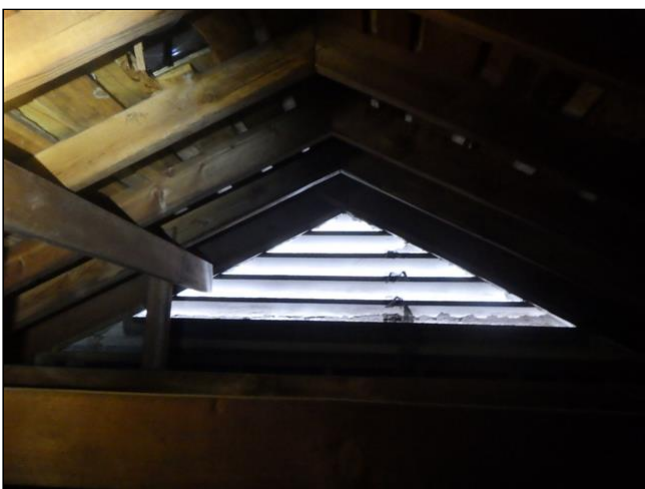


9.3 Item 3(Picture)

(2) The gable vent was missing screen at the left side (facing front from the inside). Pests should be excluded from the attic with proper screening. A qualified contractor should inspect and repair as needed.



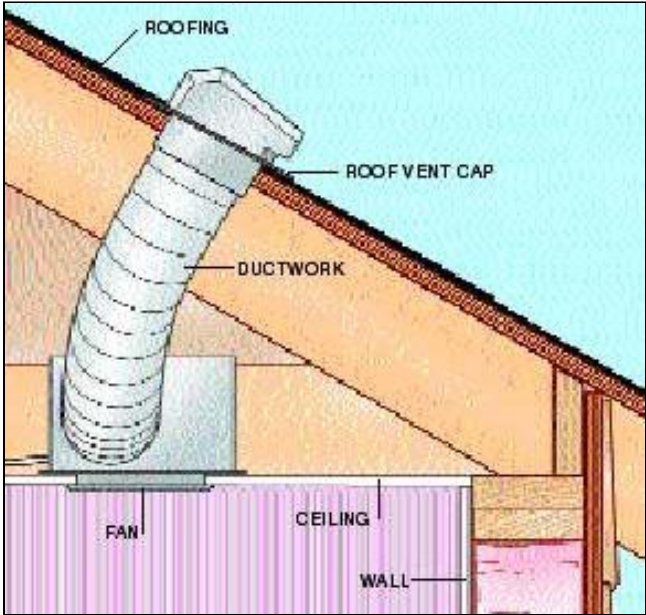
9.3 Item 4(Picture)



9.3 Item 5(Picture)

9.4 VENTING SYSTEMS (Baths and laundry)
Comments: Inspected, Monitor

- 🔍 (1) The exhaust fan ducts point into roof vents in the attic. These ducts should have a sealed exhaust weatherhood to prevent warm moist conditioned air from entering the attic. A licensed professional contractor should repair as necessary.



9.4 Item 1(Picture) bathroom exhaust



9.4 Item 2(Picture)



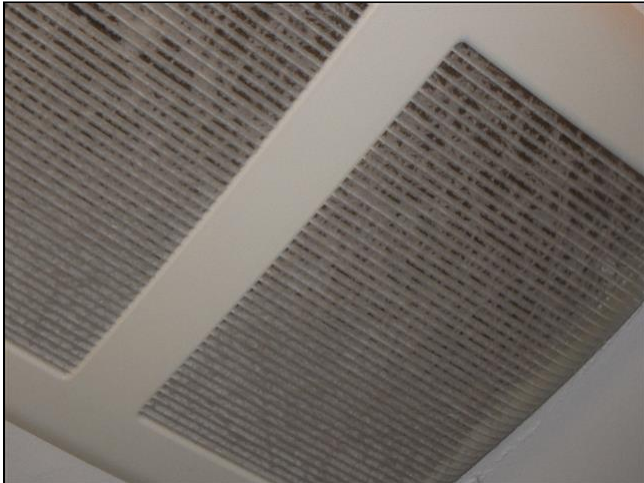
9.4 Item 3(Picture)



9.4 Item 4(Picture)



(2) The exhaust fans were very dirty at the bathrooms. Vent fans are an important part of moisture management and dirty fans can be a safety issue as they can overheat and be a fire risk. A qualified person should clean as needed.



9.4 Item 5(Picture)

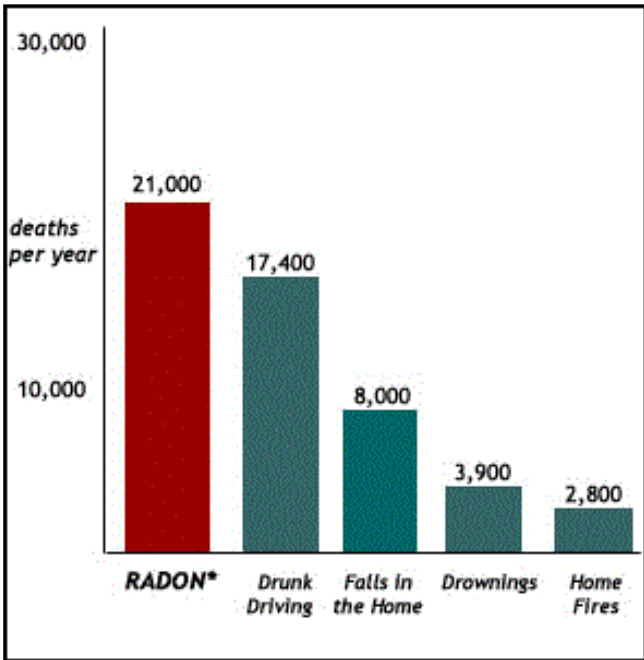
9.5 RADON MITIGATION SYSTEM



Comments: Not Present, Monitor

You should strongly consider testing this building for radon. Since 2011 radon mitigation systems have been a building code required in many counties around Oregon.

Please go here for more information: <http://perfectioninspectioninc.com/radon/>



9.5 Item 1(Picture)

The insulation and ventilation of the building was inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Venting of exhaust fans or clothes dryer cannot be fully inspected and bends or obstructions can occur without being accessible or visible (behind wall and ceiling coverings). Only insulation that is visible was inspected. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

10. Built-In Kitchen Appliances

The inspector shall observe and operate the basic functions of the following kitchen appliances: Permanently installed dishwasher, through its normal cycle; Range, cook top, and permanently installed oven; Trash compactor; Garbage disposal; Ventilation equipment or range hood; and Permanently installed microwave oven. The inspector is not required to observe: Clocks, timers, self-cleaning oven function, or thermostats for calibration or automatic operation; Non built-in appliances; or Refrigeration units. The inspector is not required to operate: Appliances in use; or Any appliance that is shut down or otherwise inoperable.



Styles & Materials

Disposer Brand: IN SINK ERATOR	Installed Dishwasher Brand: FISCHER & PAYKEL KITCHEN AID	Range/Oven/Cooktop: KITCHEN AID
Built in Microwave: NONE		

Inspection Items

10.0 FOOD WASTE DISPOSER

Comments: Inspected

10.1 INSTALLED DISHWASHER

Comments: Inspected, Repair or Replace

 The dishwasher drawer did not operate when tested. I recommend repair as necessary.



10.1 Item 1(Picture)

10.2 RANGES/OVENS/COOKTOPS

Comments: Inspected

10.3 RANGE HOOD/KITCHEN VENT**Comments:** Inspected, Repair or Replace The range hood fan controls were loose. I recommend repair or replace as needed.

10.3 Item 1(Picture)

10.4 INSTALLED MICROWAVE COOKING EQUIPMENT**Comments:** Not Present

The built-in appliances of the building were inspected and reported on with the above information. While the inspector makes every effort to find all areas of concern, some areas can go unnoticed. Please be aware that the inspector has your best interest in mind. Any repair items mentioned in this report should be considered before purchase. It is recommended that qualified contractors be used in your further inspection or repair issues as it relates to the comments in this inspection report.

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Report Attachments

ATTENTION: This inspection report is incomplete without reading the information included herein at these links/attachments. Note If you received a printed version of this page and did not receive a copy of the report through the internet please contact your inspector for a printed copy of the attachments

[Oregon Standards of Practice for Home Inspections](#)

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